



DOWNTOWN DESIGN GUIDELINES | ZONING REGULATIONS

»»» **ADOPTED**
SEPTEMBER 23 - 2003

City Of Turlock
DOWNTOWN DESIGN GUIDELINES
&
ZONING DISTRICTS

ADOPTED SEPTEMBER 23, 2003

Prepared for:
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TABLE OF CONTENTS

TABLE OF CONTENTS

Acknowledgements.....	ii
Table of Contents.....	iii
Glossary Of Terms.....	iv
Chapter 1 Introduction.....	1-1
Chapter 2 Zoning	2-1
Chapter 3 General Design Guidelines.....	3-1
1 -Downtown Core.....	3-1-1
1A-Downtown Core Transition.....	3-1A-1
2-TransitionalCommercial.....	3-2-1
3-Industrial/Residential.....	3-3-1
4-Residential/Office.....	3-4-1
Chapter 4 Implementation.....	4-1
Chapter 5 Appendix A - Turlock Beautification Master Plan (Chapter V).....	5-1

GLOSSARY OF TERMS

The following terms are used to describe certain elements of site and building architecture. They are generally defined as stated. Terms used in the Downtown Design Guidelines but not identified here shall have the same meaning as that contained in the Downtown Turlock Main Street Design Guidelines (1995), General Plan, or Zoning Ordinance. As interpretation questions arise with implementation of these guidelines, terms that are unclear and not contained herein shall be added. Implementation of terms and guidelines are subject to the interpretation by the Community Development Services Director or designee.

Arcade: A covered passageway or lane supported by columns, piers, or pillars.

Articulation: The arrangement of parts on a building's exterior that serve to give the its individual personality. Also used when referring to projections on a building that would break-up flat or unadorned building facades.

Awning: A fixed frame fabric shelter supported entirely from the exterior wall of a building.

Berm: An earth embankment, typically landscaped, used for screening of a given area.

Buffering: An area set aside to preserve the integrity of an adjacent area and to prevent physical or aesthetic encroachment on that area.

Bulbouts: A traffic calming devise used to slow down automobiles while turning or used to create a shorter distance for pedestrians to cross roads. Commonly landscaped.

Bulkhead: In historic buildings, the portion at the base of the building often treated in decorative manner with tiles or bricks.

Canopy: A roof like covering used to protect entrances and windows of a building.

Cluster Development: Development in which a number of dwelling units are placed in closer proximity than usual, or are attached, with the purpose of retaining an abutting open space or plaza areas.

Commercial: Buildings that house retail commercial, highway commercial, downtown commercial, commercial services, entertainment, restaurants, fast food, and other permitted commercial uses (see Zoning, Chapter 2).

Cornice: The uppermost portion of an exterior wall when treated as a crowning element.

Design Guidelines: Guidelines established by a local municipality intended to advise and direct the design of buildings, streetscapes, parking facilities, etc.

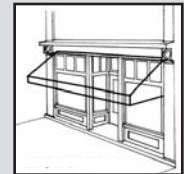
Easement: A legal tool which gives the right to use property owned by another for a specific purpose. Utility companies use easements over the private property of individuals to be able to install and maintain utility facilities.

Eaves: The lower border of a roof or a projecting edge that overhangs the wall of a building.

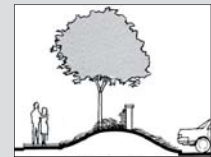
Element: Individual architectural feature of a building.

Environment: The California Environmental Quality Act (CEQA) defines environment as “the physical conditions which exist within the area which will be affected by a proposed project, including land, air, water, mineral, flora, fauna, noise and objects of historic or aesthetic significance.”

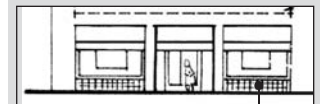
Facade: The exterior walls of a building.



AWNING



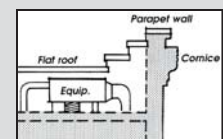
BERM



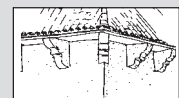
BULKHEAD



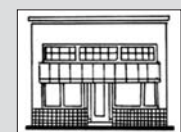
CANOPY



CORNICE



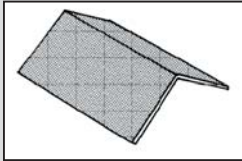
EAVES



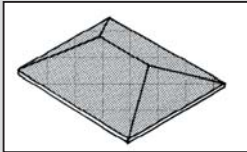
FACADE



FINGER ISLAND



GABLE ROOF



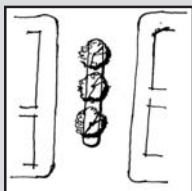
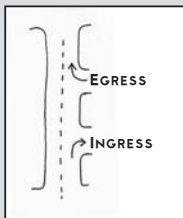
HIP ROOF



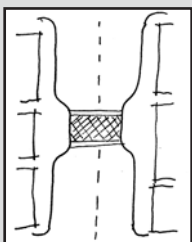
GANG MAIL BOXES



MANSARD ROOF



MEDIAN



MID-BLOCK CROSSING

Fascia: A flat band, usually a horizontal member of a building that covers the open end of a projecting eave.

Finger Island: Used to divide up parking stalls in a parking lot. Usually planted with landscaping to break up the hardscape of a parking lot.

Fire Apparatus:

Floor Area Ratio (FAR): The gross floor area permitted on a site, divided by the total area of the site expressed in decimals to one or two places.

Footcandle: A unit of illuminance on a surface that is one foot from a uniform point source of light of one candle and equal to one lumen per square foot.

Gable Roof: A triangular wall section at the ends of a pitched roof, bounded by the two roof slopes and the ridge pole.

Gang Mail Boxes: Multiple mail box compartments within a single parcel box.

Ground Plane Treatment: All hardscape, landscape or erosion control treatments that affect the ground surface. This includes accent paving, sidewalk, low growing shrubs and flowering plants, grasses, gravel, wood chips, rock formations, etc.

Hardscape: All features of the landscape such as sidewalks, streets, furnishings, and constructed elements contrasting to vegetative landscape.

Hip Roof: The external angle formed by the meeting of two adjacent slopes of a roof.

Human (Pedestrian) Scale: A spatial level of comfort a pedestrian experiences within a defined space.

Industrial: Buildings that house industrial and heavy commercial uses including, manufacturing, auto repair, storage facilities, warehousing/distribution, and other permitted uses as described in the City of Turlock Zoning Ordinance and herein (see Chapter 2, Zoning).

Infill Development: Development of vacant land (usually individual lots or leftover properties) within areas, which are already largely developed.

Ingress and Egress: The ability to enter a site from a roadway (ingress) and exit a site onto a roadway (egress) by motorized vehicle.

Infrastructure: The physical systems and services which support development and people, such as streets and highways, transit services, water and sewer systems, and the like.

Landmark: Refers to a building, element, or site (including a specific tree or tree species) having historic, architectural, social or cultural significance and may also be designated for preservation by the local, state or federal government.

Landscaping: Planting, including trees, shrubs, and ground covers suitably designed, selected, installed and maintained so as to permanently enhance a site, the surroundings of a structure, or the sides or medians of a roadway.

Mansard Roof: A roof with two slopes on all four sides, the lower slope being nearly vertical and the upper nearly horizontal.

Mass and Scale: Size and shape of a building and its relationship to the surrounding structures and spaces.

Medians: A paved or planted strip dividing a roadway into lanes according to direction of travel.

Mid-block Crossing: A crosswalk in the middle of a block that allows pedestrians to cross the roadway in commercial areas without having to reach the end of a block.

Mixed Use: Allows the combining of two or more uses on a single parcel or a single structure.

Molding: A decorative plane or curved strip used for ornamentation or finishing.

Monotonous Structures: Unvarying structures marked by a sameness of pitch and intensity.

Monument Sign: A low rise sign detached from the main structure.

Multi-Family Residential: Buildings that house multiple residential units in a single building (3 or more per structure). Such as apartments/condominiums as permitted in the R-3 zone.

Office: Buildings that house both offices and supporting activities including, medical, dental, legal, architectural, engineering, contractors, banks and other permitted uses.

Parapet Walls: A low wall extending above the edge of a platform, roof, or bridge, intended to protect the edge or screen views.

Pedestrian Networks: A connecting and linked series of pathways, sidewalks and walkways.

Projections: A spatial object upon a plane or curved surface or a line that outcrops its points to create shadow effects on a surface.

Renovation: Fixing up or repairing an existing building. If the building is historic, it refers to preserving historic features or elements of the building.

Rhythm: The “flow” and cadence of parts on a building, or buildings on a street.

Right-of-way: The strip of land over which certain transportation and public use facilities are built, such as roadways, railroads and utility lines.

Roofline Cornices: The molded and projecting horizontal member that crowns an architectural composition or a wall. A decorative band of metal or wood used to conceal curtain fixtures.

Scale: The relative proportions of elements on a building or between buildings.

Screening: To give protection, to separate or to shield from a view.

Setbacks: Refers to an area of certain distance from a property line within which building development cannot occur. Use of setbacks creates front, side and rear yard areas in developments. Setbacks are also used to establish safe ‘clear areas’ around buildings for fire, police or aesthetic reasons.

Shall: As used herein, shall is not intended to diminish the flexible application of the stated guidelines, but to reinforce the requirement to meet, at a minimum, the intent of the particular section, guideline, or design principle.

Should: Signifies a directive to be honored if at all possible.

Sign: Any representation (written or pictorial) used to identify, announce or otherwise direct attention to a business, profession, commodity, service or entertainment.

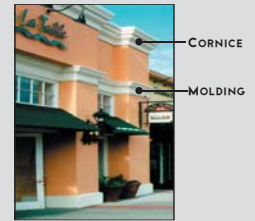
Site: A parcel of land used or intended for use or a group of uses and having frontage on a public or an approved private street.

Storefront Improvements (or Facade Improvements): Work done to repair or fix elements on the ground level of a building.

Street Trees: Trees strategically planted, usually in the wells, parkway strips or medians, to enhance the visual quality of a street.

Streetscape: The area including the buildings, sidewalks, streets, and related improvements visible along the street.

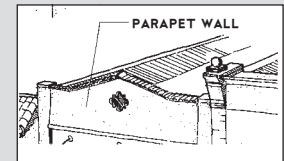
Structure: Anything constructed or erected which requires location on the ground (excluding swimming pools, fences, and walls used as fences).



MOLDING & CORNICE



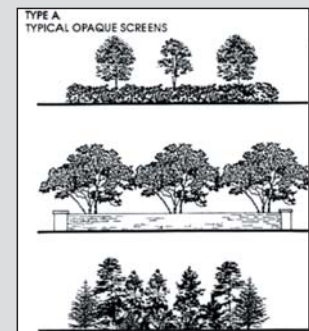
MONUMENT SIGN



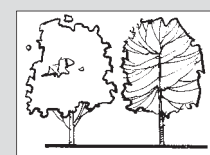
PARAPET WALL



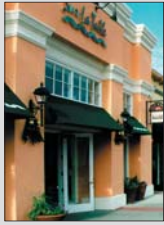
RHYTHM



SCREENING



STREET TREES



TRANSOM WINDOWS

Transom: Windows located on the top of the main window. Such windows may be fixed or moveable.

Viewshed: The area within view from a defined observation point.

1.0 Introduction

As early as 1960, the policy makers of the City of Turlock had a Vision to create a compact community that would encourage economic growth while preserving small town character and the livability of Turlock. An important aspect of that livability and small town character is a vibrant and economically vital downtown. In 1992, the City Council adopted the Turlock Downtown Master Plan which set forth initial goals for improvement in the Downtown Core. Phase I of those improvements is constructed in the Downtown and the result has been an attractive, pedestrian-oriented retail area. In 1995, the City adopted the Downtown Turlock Main Street Design Guidelines in concert with the California Main Street program. This document, setting forth the Downtown Zoning Regulations and Design Guidelines is intended to further the work started in the Turlock Downtown Master Plan (TDMP) and Main Street Design Guidelines.

It is the objective of this document to further the City's Vision for Downtown Turlock by establishing Downtown Guidelines and Standards that will provide land use and physical design details and guidelines necessary to guide future Downtown investments. With the investment that the City has made in the public realm improvements of the Downtown Core, private investment interest has increased. It is anticipated that private investment will continue. The Zoning Regulations and Guidelines contained herein are intended to encourage and facilitate appropriate private investment within the Downtown Area, that reflects the historic commercial character of the core and the traditional residential character of the adjoining neighborhoods.

Community participation has been an important aspect in the preparation of this document, primarily provided through the input and involvement of the Downtown Zoning District and Design Guidelines Steering Committee. A series of three Workshops were conducted with the Committee to solicit their valuable input. At the outset, the Committee participated in a Citizen Photo Survey wherein disposable cameras were provided to each participant along with a photo log sheet. Photographs of the "likes" and "dislikes" of Downtown architecture and streetscape environment were photographed and catalogued as a means to establish agreement on Downtown issues (see Figures 1 and 2).



1.1 Historic Overview

Main Street, on both sides of Golden State Boulevard, reflects the primary proliferation of historic buildings in Downtown



"ALLEY ACCESS FITS IN WELL."



"OFF-CENTER SIGN IS A GOOD MODEL
"PEDESTRIAN ORIENTED SIGNAGE"



"ATTRACTIVE HARDSCAPING/ BOLLARDS
AND MIDBLOCKING."



"FRONT PORCHES AND RECESSED PARKING
IN THE REAR."



"MURALS ARE A NICE TOUCH."



"LUNCHBOARD SIGNS ADD
CHARACTER TO THE STREET."



"TREES AND RECESSED BUILDING."



"FLAGS AND HISTORICAL BUILDING."



"A NICE FACADE IMPROVEMENT."



"NICE USE OF LANDSCAPING AND LIGHTING."



"LIKE THE FLOWERS."
"THE PARK IS A GREAT ASSET."



"PUBLIC ORIENTATION"
"NICE SIGNAGE"



"APARTMENTS LOOK LIKE SINGLE FAMILY
"LIKE HOW THE PARKING IS IN BEHIND."



"A GREAT LOOKING COMMERCIAL STREET."

FIGURE I - POSITIVE IMAGES MAP

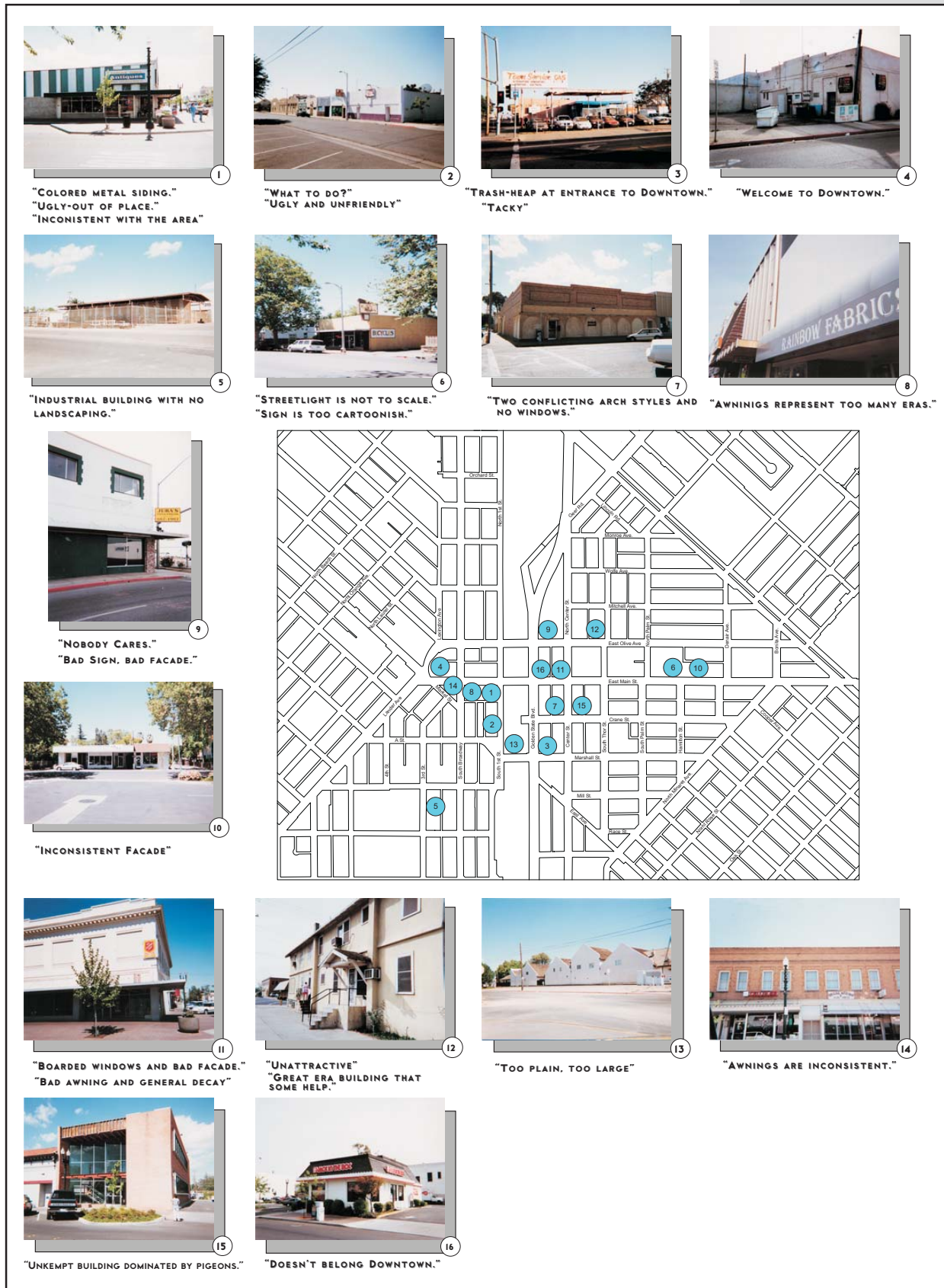


FIGURE 2 - NEGATIVE IMAGES MAP



Turlock and is considered the core of Downtown. It is along Main Street that the Phase I public improvements have been constructed by the City as the initial Implementation Phase of the Turlock Downtown Master Plan. This document is intended to build on the foundation that has already been established and reinforced by the City in the Downtown Master Plan, Downtown Main Street Design Guidelines, and in the 1992 General Plan.

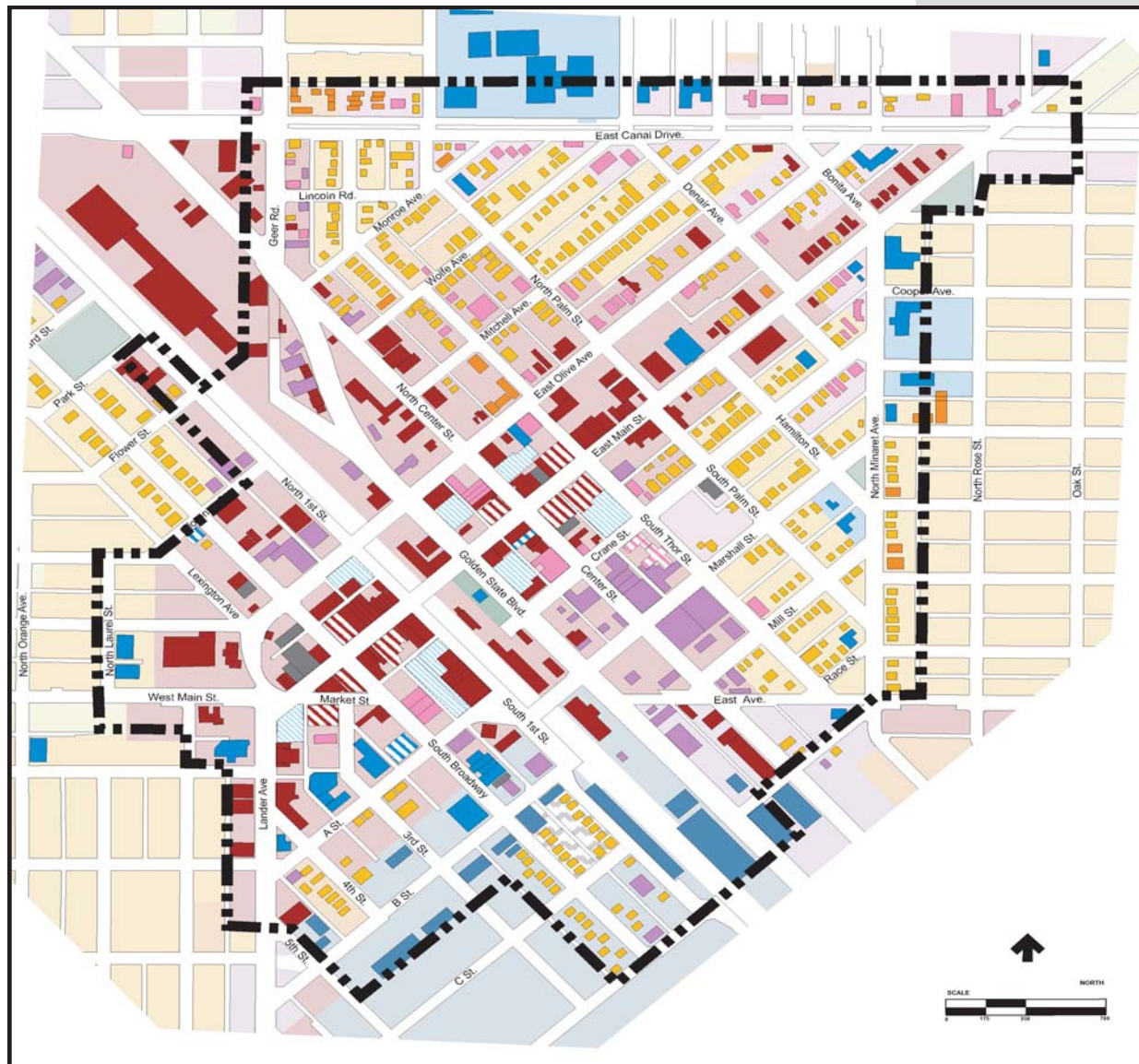
The Turlock Downtown Area, for the purposes of this document, has been defined as the general area bound by Canal Drive to the north, Geer Road/Lander Avenue to the west, East Avenue to the south and Minaret Avenue to the east. The Downtown Area generally encompasses the original historic grid that was laid out parallel and perpendicular to the First San Joaquin Valley Rail Line (now Union Pacific/Burlington Northern) that bisects the Downtown Plan Area. As new growth areas developed around the Downtown grid, streets tended to be laid out in a north, south, east, west fashion, creating a unique delineation of the Downtown Area where the two grid patterns are juxtaposed (see Figure 3). The final boundaries of the Downtown Area and subdistricts were modified through the public review process working with the Steering Committee (see Figure 4).

Downtown Turlock, being the original town site, relied almost exclusively upon the railroad for transportation of goods. Turlock relies upon the automobile to move people in and out of the Downtown Area. The focus of the City's General Plan, Downtown Master Plan and this document is to emphasize the importance on pedestrian access and accessibility throughout the Downtown Area making it a place where people will want to linger and spend time and find ease of access.

1.2 Existing Land Uses

The Downtown Plan Area is comprised of a full range of land uses from single family residential to industrial (see Figure 3). Commercial uses make up what is known at the core area (Main Street). Commercial uses extend to adjacent areas along Golden State Blvd., West Main, and Lander Ave. Traditional residential uses flank the Core Area on both sides. Some office uses also exist in and throughout the Downtown. The industrial uses are isolated to the South end of the Plan Area with some scattered residential uses.

FIGURE 3 - EXISTING CONDITIONS



EXISTING CONDITIONS

LEGEND

EXISTING LAND USE

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial Office
- Community Commercial
- Heavy Commercial/ Light Industrial
- Commercial Thoroughfare
- Industrial
- Parks/ Drainage Basins
- Public/ Semi - Public
- Heavy Commercial, High Density Residential & Commercial
- Vacant

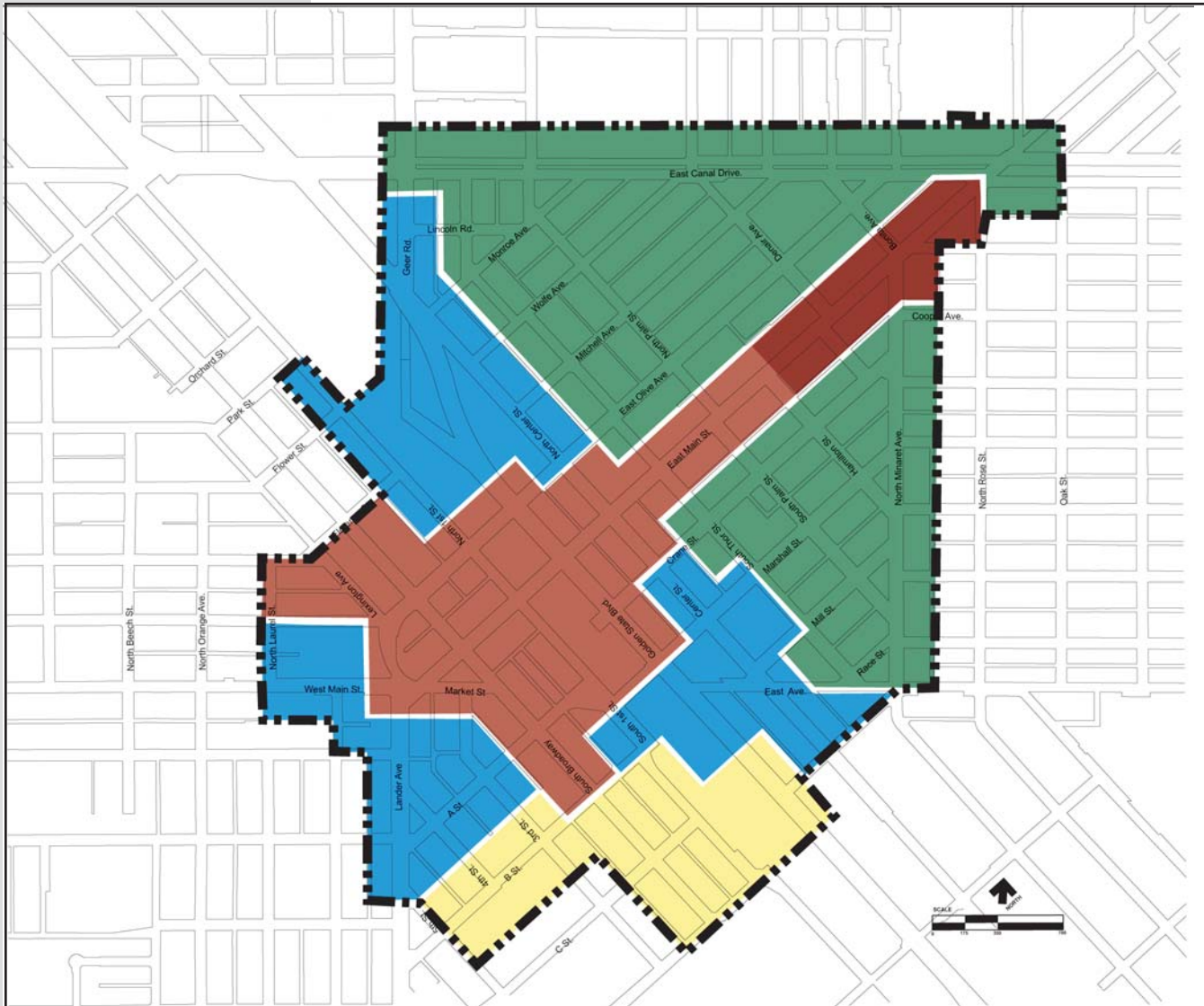
- Community Commercial - Historically Significant
- Public/ Semi - Public - Historically Significant
- Public Parking Lots
- Plan Area Boundary

EXISTING ZONING

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial Office
- Community Commercial
- Heavy Commercial/ Light Industrial
- Commercial Thoroughfare
- Industrial
- Parks/ Drainage Basins
- Public/ Semi - Public
- Heavy Commercial, High Density Residential & Commercial

* Note: Existing landuse development shown reflects information based on survey of downtown core, aerial photos, field work and Turlock Downtown Master Plan Land Use Plan and may not reflect detailed.







FIGURE 4 - DOWNTOWN DISTRICTS



* Note: Existing landuse development shown reflects information based on survey of downtown core, aerial photos, field work and Turlock Downtown Master Plan Land Use Plan and may not reflect detailed,

DOWNTOWN DISTRICTS

LEGEND

-  Plan Area Boundary
-  District 1 - Downtown Core
-  District 1A - Downtown Core Transition
-  District 2 - Transitional Commercial
-  District 3 - Industrial / Residential
-  District 4 - Office / Residential

1.3 Purpose

The goals for the Zoning Regulations and Design Guidelines include:

- ♦ To ensure the current and future success of the Downtown by preserving and enhancing its unique historic character and to encourage future development that is compatible with the overall feel of Downtown.
- ♦ To protect and enhance the pedestrian environment and accessibility in and around the Downtown Core Area.
- ♦ To conserve the traditional character of the immediate surrounding residential neighborhoods while guiding future development for use and reinvestment through alternative uses.
- ♦ To promote renovation of historic buildings in Downtown and promote new investment and construction.

1.4 Existing Policy Framework

The City's 1992 General Plan sets forth policy that is the supporting framework for the preparation of this document. These policies address both commercial and residential uses as a part of the Downtown Area. They include traditional residential neighborhoods that face the eminent pressure of potential conversion from residential to commercial or office land uses. The policy framework from the General Plan for residential and commercial land use is as follows:

1.4.1 Residential Policy 2.3-h

Prepare and adopt residential design guidelines (see also City Design Element).

Policy 7.3-d

Preserve the scale and character of established neighborhoods.

Policy 7.2-o

Preserve residential areas north and east of Downtown.

1.4.2 Commercial Policy 2.4-e

Make Downtown a unique shopping district emphasizing specialty shops, entertainment opportunities, restaurants and professional services.

Policy 2.4.f

Emphasize compact form and pedestrian orientation in new shopping areas.

Policy 2.4.o and 7.2-c

Implement Downtown Master Plan (TDMP)

Policy 7.2-a

Continue efforts to preserve and enhance Downtown.

Policy 7.2-b

Encourage development of Downtown as a mixed-use, day and evening activity center. Encourage office and residential development near Downtown but minimize conversion of established residences to offices.

Policy 7.2-g

Establish methods for inducing storefront rehabilitation and seismic upgrading of unsafe structures.

Policy 7.2-l

Improve access to and within Downtown. Issues addressed should include entrances to Downtown and signage.

Policy 7.2-n

Facilitate and encourage development of mixed-use projects in Downtown.

1.4.3 Street Design and Connectivity

Policy 7.4-f

Designate principle access points to Turlock which warrant special treatment and development review consideration as gateway zones. These entrances, including West Monte Vista Avenue, Golden State Boulevard, West Main Street and Lander Avenue can provide important gateway functions as visual entryways. The road segment should receive special landscape treatment to create impressionable and coordinated entries.

Policy 7.4-g

Use overlay zones to implement specific entrance-way designs and landscaping goals along designated “Gateway Routes.”

Policy 7.4-k

Prepare and implement a landscape and signage plan for Golden State Boulevard between Fulkerth and F Street in coordination with the Downtown Master Plan Guidelines, balancing design considerations with the need for Golden State to be retained as a major circulation route.

1.4.4 Historic Preservation

Policy 7.6-a

Integrate historic preservation into planning for Downtown and other areas with historic significance.

1.4.5 Urban Design Principles

Policy 7.7-a

Prepare and adopt guidelines that address the variety of urban design issues for which the General Plan establishes policies. Subject all projects except single units on existing parcels to a design and site plan review that may be conducted by City Staff.

Policy 7.7-c

Accommodate the needs of all pedestrians, bicyclists, and wheelchair-dependent persons.

While some of these policies do not specifically pertain to Downtown, they do have relevance to the Downtown Zoning District and Design Guidelines and have helped to set the framework for establishing this document.

1.5 Downtown Overlay Zone and Design Guidelines Policies

The following policies are specific to the districts that have been delineated for the Downtown Area. Each of the Districts is distinct and, therefore, the policy statements below have been identified by district and apply only to the district for which they are listed.

1.5.1 Downtown Core

- a The Downtown Turlock Main Street Design Guidelines of January 1995 shall continue to be utilized in conjunction with this document, particularly with respect to “historic architectural style”. In the event the design guidelines in this document conflict with the design guidelines in the Main Street guidelines document, this document shall supersede.
- b Preserve the Main Street pedestrian environment through appropriate land uses, zoning and design within the Downtown Core.
- c Encourage compact mixed-use development in the Downtown that is “layered” (e.g., commercial, ground floor office and residential second floor and up).
- d Undulating building heights are encouraged to break-up the vertical street wall.



FIGURE 4 - DISTRICT MAP

- PLAN AREA BOUNDARY
- DOWNTOWN CORE
- DOWNTOWN CORE TRANSITION
- TRANSITIONAL COMMERCIAL
- INDUSTRIAL/RESIDENTIAL
- OFFICE/RESIDENTIAL

- e The City shall update the parking study completed as a part of the Turlock Downtown Master Plan and determine the appropriate mechanisms necessary to ensure adequate and accessible parking in and around the Downtown Core.

1.5.2 Downtown Core Transition District

- a Preserve the lower intensity residential scale character of this transition zone while creating a visual connection to the core from the “gateway” at Canal and East Main Street by utilizing common design elements.
- b Improve area streetscape and promote pedestrian accessibility throughout this district.
- c Encourage mixed use development and land uses that are appropriate to the existing structures and character of this district.

1.5.3 Transitional Commercial

- a Allow for a variety of commercial uses and a development character consistent with a predominantly automobile-oriented commercial district with appropriately scaled and articulated architecture.
- b Create gateway elements along the Golden State Boulevard Corridor to establish the identity of the Downtown Area.
- c Encourage consistent streetscape design to unify the area and create a visual connection to the Downtown Core and to promote pedestrian accessibility along street corridors.

1.5.4 Industrial/Residential District

- a Acknowledge the significance of the agricultural industry to the City and capitalize on the unique architectural forms and character of the existing agricultural industrial buildings along Golden State Boulevard.
- b Create a gateway statement on south Golden State Boulevard through both signage and streetscape to announce the Downtown Core.
- c Promote the redevelopment and reuse of the existing large-scale agricultural industrial buildings along Golden State Boulevard with a mix of land uses that will invigorate commercial and industrial activity in the area.
- d Create an opportunity for the market to determine appropriate

land uses (i.e., industrial vs. residential) within the district. Ensure new development in the District fits into the Downtown fabric by establishing design guidelines for both industrial and residential development.

- e Encourage well-designed industrial development and compatible industrial uses.
- f Make provisions to mitigate industrial - residential interface impacts.

1.5.5 Office/Residential District

- a Preserve historic character and residential uses within the District neighborhoods.
- b Promote residential scale design for new office development.
- c Unify the area with streetscape improvements (street trees, continuous sidewalks, street lighting, etc.).
- d Maintain and enhance the pedestrian-friendly environment and accessibility.
- e Parking areas shall be concentrated toward the rear of the building. Signage shall be provided to direct autos toward the rear of the building.
- f Establish guidelines for appropriate signage of non-residential uses that is consistent throughout the district.
- g Establish methods to mitigate impacts where residential and office uses are directly adjacent to one another.
- h Changes in zoning from residential to office use shall be permitted only when the change in zoning on a given parcel is contiguous to similarly zoned property. Where a zone change is approved, the design of new office facilities will be required to respect and preserve the historic residential character of the district by complying with the District Design Guidelines.

1.6 Relationship to Other Documents

This Downtown Zoning District and Design Guidelines Document, as mentioned above built upon the foundation established by the 1992 General Plan as well as the initial effort of the City completed in conjunction with the Turlock Downtown Master Plan document. The General Plan emphasizes the importance of encouraging a mixed-

use environment in the Downtown to promote both day and evening activities with the support of office and residential development in the surrounding neighborhood. The Downtown Master Plan recommends that the Downtown be developed as a specialty retail and entertainment center. This program is intended to enable Downtown to compete more effectively with the peripheral shopping center development that has occurred in Turlock. This is accomplished by encouraging retail specialty stores that draw from a regional customer base, extending beyond the boundaries of what would otherwise be considered the primary market area. In addition, this program encourages entertainment businesses such as eating and drinking establishments and theatres that can take advantage of an appealing downtown pedestrian environment. The goal is that through this type of program, the downtown will differentiate itself from other developments by offering a combination of uses that cannot be duplicated in shopping centers.

The Downtown Zoning Regulations and Design Guidelines also relate to the City's Zoning Ordinance (Title 9) with the creation of the Downtown District Overlay Zones. Chapter 9-4 of the City's Zoning Ordinance sets up the framework for Overlay District Regulations. The Overlay Zones for the Downtown Districts will provide specific requirements for each of the district areas without changing the base zoning that exists in Downtown. An amendment to the City's Zoning Ordinance will be required to implement these Overlay Zones.

1.7 User Guide

The biggest challenge with any planning document is to make it a document that is user friendly. To accomplish this, it is important to understand who will actually use these guidelines. The following is a summary of potential users:

1.7.1 Property Owners

The Overlay Zones and Guidelines will provide property owners with a clear and simple design review and approval process. This document will work in conjunction with the General Plan Zoning Ordinance (Title 9) and the Uniform Building Code for the City of Turlock. It will provide a clear set of expectations and responsibilities for property owners.

1.7.2 Design Professionals and Developers

The Overlay Zones and Guidelines will provide a clear and graphic directive for renovation and new construction. It will serve as an information tool that can provide a link between the property owner and the designer or developer and will clarify the aspects of quality design.

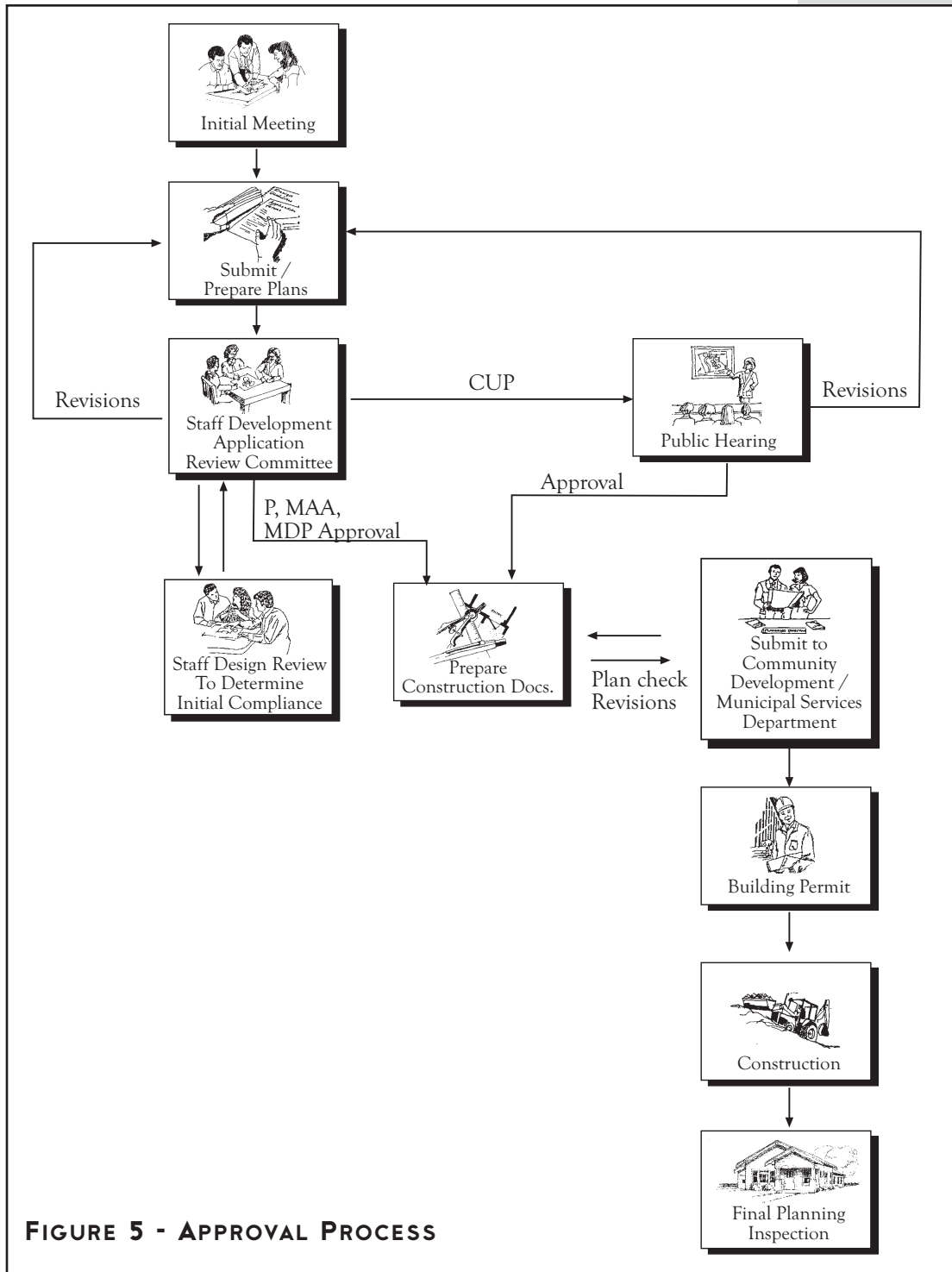


FIGURE 5 - APPROVAL PROCESS

*Refer also to 9-5-100ART, City Zoning Ordinance

1.7.3 City Staff

City Staff will utilize the Zoning Regulations and Design Guidelines in assisting applicants and their representatives with project processing. The Zoning District and Guidelines will serve as the basis for evaluating proposals for compatibility and compliance with development in the Downtown Area. City Staff will also use this document when working with the Planning Commission and the City Council.

1.7.4 Review Bodies

The Zoning Regulations and Design Guidelines will provide the Planning Commission and City Council/Redevelopment Agency with a basis for evaluating proposals for compatibility and compliance.

1.8 Application Process

All applications for building permit, sign permit, conditional use permit, variance, minor administrative permit, minor discretionary permit, or other entitlements which include a physical alteration for construction (including parking) shall be reviewed to ensure consistency with the Overlay Zoning and Guidelines. The Community Development Director or his/her designee or the Planning Commission will decide if the project is consistent with the overall intent of this document.

Design Review is implemented by the City Staff depending upon the level of permit approval required. A project may be approved at the City Staff level, Planning Commission level, or the City Council/Redevelopment Agency level.

The diagram reflected in Figure 1 depicts the application and approval process. This process coincides with the process set forth in Chapter 5 of the City of Turlock Zoning Ordinance (Title 9). The purpose of the initial meeting is to advise the project applicant of applicable Overlay Zone Requirements and Design Guidelines to ensure the appropriate reading of this document and its applicability to the subject project.

Following the initial meeting, plans are produced and submitted as part of the application process to the City. If a Public Hearing is necessary, the project goes on to the Planning Commission and/or to the City Council for approval.

Once the project has been approved in the planning process, construction documents are produced and submitted to the Building and Safety Division of the Community Development Department for a Building Permit. Upon receipt of a Building Permit, construction may begin. Finally, inspections are made and the building may be occupied.

1.9 Applicability/Review

This document applies specifically to the Downtown Area defined on Figure 4 Downtown Districts. The Zoning District Regulation requirements apply only to those sites located within the specific district. The Design Guidelines apply to the specific building or element that may be under consideration. For example, a new commercial building being proposed in the Downtown Core Overlay Zone (District 1) would have to meet the requirement set for the Downtown Core Overlay Zone and the Design Guidelines set for commercial buildings, streetscape, public spaces, landscaping and other categories of guidelines that may apply.

1.10 Organization and Use of Zoning and Guidelines

This document is organized into four parts to ease use. These four parts are as follows:

- ♦ **Chapter 1**
This section includes the discussion of the history, purpose and method of development of this document as well as the relationship to other documents and the Users Guide.
- ♦ **Chapter 2**
The Downtown Regulations and Overlay Zoning and Requirements consists of a total of five Downtown Districts each of which has an Overlay Zone Requirement specific to the particular District. These Requirements are intended to be consistent with the Base Zoning Requirements while, in some instances, being more restrictive. Some Amendments to the base zones will be necessary. Where the Overlay Zone Requirements conflict with Base Zone Requirements, the Overlay Zone Requirements will prevail.
- ♦ **Chapter 3**
This section contains the Downtown Design Guidelines. The first section includes general guidelines which apply to all of the downtown areas. Following are guidelines for each of the five downtown overlay districts. Where the guidelines contained herein conflict with guidelines or zoning elsewhere, the guidelines contained herein shall supercede.
- ♦ **Chapter 4**
This is the implementation section which includes an overview of the Design Review process and other considerations for implementation of the regulations and guidelines contained herein.

PART 2 - ZONING

Chapter 9-4 Overlay District Regulations

- 9-4-100 Downtown Overlay Regulations
- 9-4-101 Downtown Core Overlay District #1
- 9-4-102 Downtown Core Transition Overlay District #1-A
- 9-4-103 Transitional Commercial Overlay District #2
- 9-4-104 Industrial/Residential Overlay District #3
- 9-4-105 Office/Residential Overlay District #4

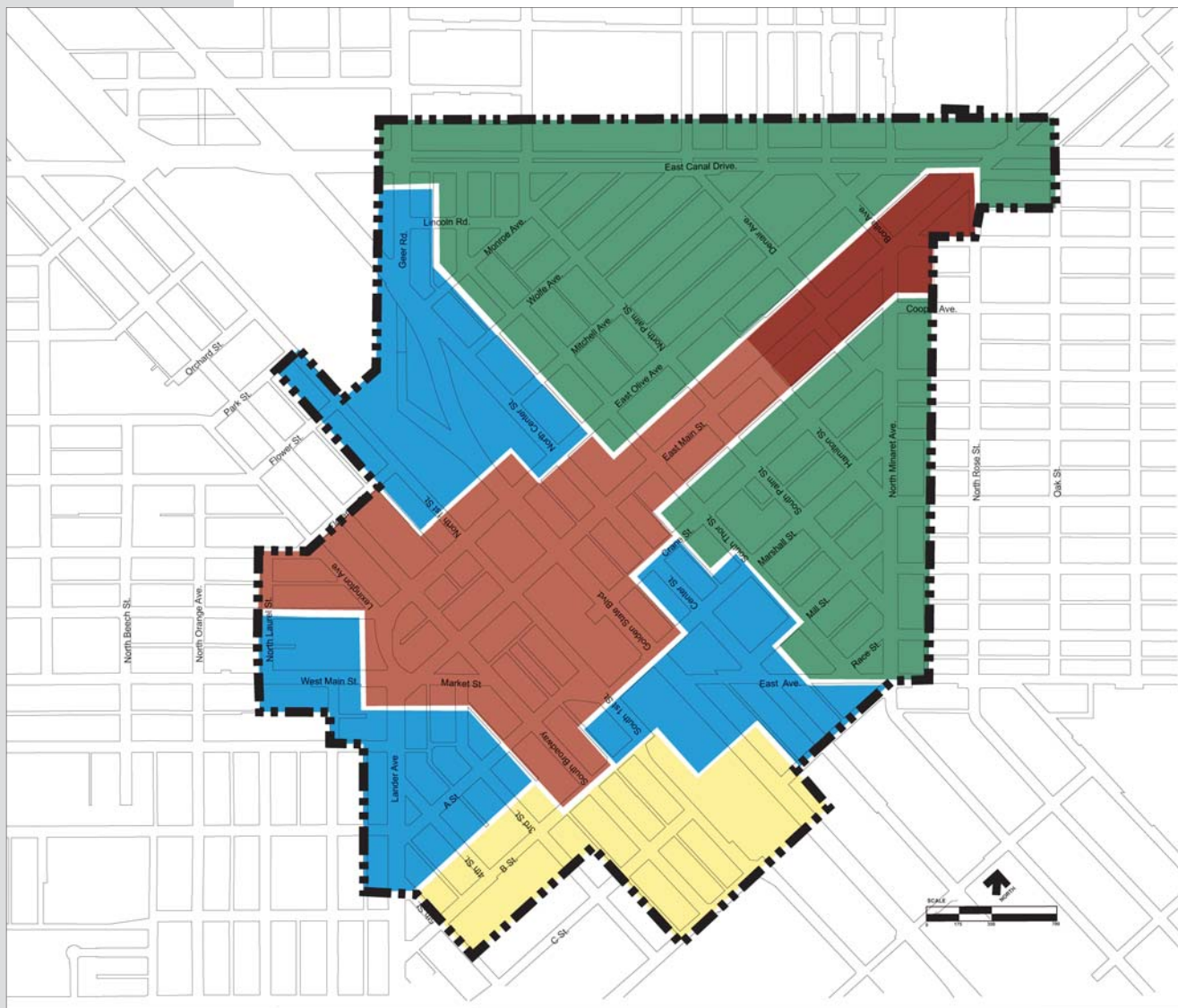
9-4-100 ART. Downtown Overlay Regulations

The following Overlay District Regulations apply specifically to the Downtown area as defined in the Turlock Downtown Zoning and Design Guidelines document. Figure 4 shows the Downtown area as well as the Overlay Regulation Districts within the Downtown area. These regulations in some cases modify the Base District Regulations for the purposes set forth herein. However, these regulations are not all inclusive and therefore must be used in concert with the balance of the City of Turlock zoning regulations. Wherever there is a conflict or contradiction in the Overlay District and Base District Regulations, the Overlay District Regulations set forth in this document shall apply.

(a) Specific Purposes

In addition to the purposes listed in Section 9-1-103, and elsewhere in each of the Base District Regulations, the purpose of the Downtown Overlay Regulations are to:







- (1) Maintain and further enhance a prominent pedestrian oriented environment throughout all the regulation districts of the Downtown.
- (2) Promote and encourage economic investment in the Downtown area.
- (3) Protect and preserve the City's historic architectural character of the Downtown Core and immediately surrounding areas.
- (4) Acknowledge the distinct opportunities that exist in the Downtown.
- (5) Ensure the economic vitality of the Downtown as the "heart" of Turlock for years to come.



* Note: Existing landuse development shown reflects information based on survey of downtown core, aerial photos, field work and Turlock Downtown Master Plan Land Use Plan and may not reflect detailed,

DOWNTOWN DISTRICTS

LEGEND

-  Plan Area Boundary
-  District 1 - Downtown Core
-  District 1A - Downtown Core Transition
-  District 2 - Transitional Commercial
-  District 3 - Industrial / Residential
-  District 4 - Office / Residential

9-4-101. DOWNTOWN CORE #1

The Downtown Core is the historic focal point of Downtown. It's a place where shopping, dining, and entertainment is encouraged and is an area where buildings shall be high density in order to achieve an urban appearance. Buildings shall range from two to four stories in height in order to encourage a mix of commercial, office, and residential uses. The design and look of the Core communicates the historic character of the City through the use of architecture and streetscape design. The following zoning is intended to preserve and enhance the historical character of the Downtown Core and the quality of public realm (streetscape, public parking, plazas, etc.) improvements. This overlay district accomplishes this through specific use requirements and development standards.

A. Specific Purposes

1. To ensure the current and future success of the Downtown Core by preserving and enhancing its unique historic character and to encourage future development and land uses that are compatible with the overall character of The Downtown Core.
2. To protect and enhance the pedestrian environment and accessibility in and around the Downtown Core Area.
3. To promote re-use and renovation of historic buildings in Downtown while promoting new investment and construction.
4. Encourage mixed-use development in the Downtown Core supporting residential and offices on the upper floors.
5. Encourage ground floor retail and restaurants on the ground level.



■ DISTRICT I -
DOWNTOWN CORE

B. Use Classifications Downtown Core District (DC)

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of an existing residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D & E) may be permitted subject to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Ground level:

Antique shops, art galleries, artist studios if accessory to art galleries, business and professional offices, cultural institutions, financial services, government offices, personal services, printing & publishing, restaurants (including outdoor dining), retail sales, retail bakeries, and other similar uses as determined by the Community Development Director or designee.

Second floor & above:

Residential units, business and professional offices, clubs & lodges, cultural institutions, government offices, photography studios, artists' studios, medical and dental clinics, hotels and motels, research &

development services, personal services, and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:

Ground level:

Bars, dance hall/night clubs, live entertainment, fortune telling, and other similar uses as determined by the Community Development Director or designee.

Second floor & above:

Day care centers, religious assembly uses, trade schools, dance schools, all those uses conditionally permitted at ground level, and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:


Automobile sales, service, repair or washing, restaurants (drive through), industry (limited or general), utilities (major and minor), ambulance services, convenience gas mart, outdoor storage, funeral & internment services, rental storage facilities, second hand stores, travel trailer or mobile home parks, salvage and wrecking operations, warehousing, and other similar uses as determined by the Community Development Director or designee.

F. Development Standards

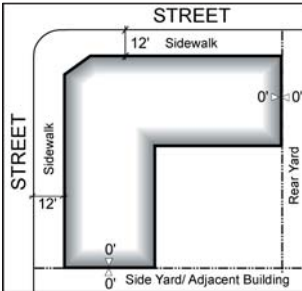
DOWNTOWN CORE OVERLAY ZONE (DC) 9-4-101

CATEGORY	REGULATION	INTERPRETATION
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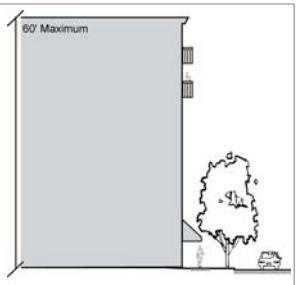
LAND USE

Applicable Base Zone	CC	
Max Lot Coverage:	100% <i>*Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments.</i>	
Floor Area Ratio:	3.0 for Mixed-Use 1.0 for Retail Commercial <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	
Permitted Uses:	Refer to Section 9-4-101 C of this chapter	
Conditional Uses:	Refer to Section 9-4-101 D of this chapter	

SETBACKS

Front Yard:	0 feet maximum <i>*except for plazas, courtyards, entries or outdoor dining</i>	
Side Yards:	0 feet minimum	
Rear Yard:	0 feet minimum	
Corner Lot Side Yard:	0 feet minimum	
Distance Between Buildings:	0 feet	

BUILDING MASSING


Building Height:	60 feet maximum	
Landscaping:	0% of lot area <i>*may include hardscape, plazas, courtyard areas, and planters</i>	

PARKING

Parking Requirements:	Off-street parking not required in the Downtown Core Overlay Zone
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SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs	No freestanding signs are permitted, except for tenant directory signs which may only be placed within a courtyard, plaza, or entry. Any freestanding signs shall be single sided, shall be limited to six (6') feet in overall height, shall not exceed three (3') feet in width, shall be placed within a landscaped bed, and shall be made from the same materials as other signs on the site.	
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SIGNAGE CONTINUED

Restaurant Menu Signs

Restaurant Menu Signs shall be permitted and shall be located in a permanently mounted display box on the surface of the building adjacent to the entry. Taping a menu to a box is not an appropriate menu sign. The allowable area for restaurant menu signs shall be a maximum of 6 square feet. For special circumstances in which restaurants occupy a considerable amount of window space, menus are to be decoratively displayed in the window adjacent to the entry. Such signs will not be included in the sign area calculation for the business.



Wall Signs

Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.



Projecting Signs

Projecting Signs shall not exceed two (2') feet by two (2') feet in size and shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited. Projecting signs shall not be included in the sign area calculation for the building.



A-Frame Signs

A-Frame Signs shall be permitted provided the sign complies with the following size and design requirements:

- No A-Frame Sign shall have more than two sides
- The overall size of the sign, including frame, shall not exceed two (2') feet in width and four (4') feet in height
- The sign shall be constructed of materials similar to those found on the building and/or the wall signs
- The sign shall not be placed on the public sidewalk in such a manner as to obstruct public access, including ADA accessibility requirements

A-Frame signs shall not be included in the sign area calculation for the building



OTHER

Design:

Compliance with the Downtown Core District Design Guidelines section of this document (Chapter 3-1) is required.

9-4-102. DOWNTOWN CORE TRANSITION #1A

The Downtown Core Transition District is a contrast to the historic urban feel of the Downtown Core with ample setbacks, mature trees lining the streets, and low-intensity residential and office structures. Yet, located along the East Main Corridor, this district is an important link and gateway opportunity for the Downtown Core. The Downtown Core Transition District’s “residential scale” is to be preserved while creating a unifying streetscape character that ties this area to the Downtown Core. Consideration of gateway features and strengthened pedestrian orientation are priorities for this district. All new uses, construction, reconstruction, and remodels shall be subject to these regulations.

A. Specific Purposes

1. Preserve the lower intensity residential scale character of this transition area while maintaining the importance of this link to the Downtown Core.
2. Encourage mixed use development and land uses that are appropriate for the existing structures and character of this district.
3. To encourage pedestrian accessibility and orientation.

 DISTRICT 1A -
DOWNTOWN CORE
TRANSITION



B. Use Downtown Core Transition District (DCT)

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of an existing residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C, D & E) may be permitted subject to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Business & Professional Offices, medical and dental offices and clinics, restaurants, residences, photography studios, artists studios, art galleries, public uses, government offices, day care centers, personal services, private schools, dance schools, and financial institutions, single and multi-family residential and other similar uses as determined by the Community Development Director or designee.

All residential uses shall comply with the standards for the Residential Medium Density (R-M) zoning regulations, unless authorized in accordance with *Article 9-5-600: Conditional Use Permits and Variances*. (See Director's Interpretation 99-02)

D. Conditionally Permitted Uses:

Clubs and lodges, religious assembly uses, gas stations (including convenience gas marts), mixed use projects, nurseries, and other similar uses as determined by the Community Development Director or designee.


All residential uses shall comply with the standards for the Residential Medium Density (R-M) zoning regulations, unless authorized in accordance with *Article 9-5-600: Conditional Use Permits and Variances*. (See also Director's Interpretation 99-02)

E. Prohibited Uses:

Auto sales, auto service and repairs, drive through restaurants, equipment sales, service, and/or rentals, industrial uses, maintenance services, outdoor storage, rental storage facilities,

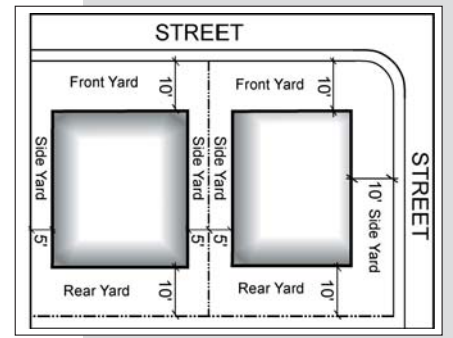
F. Development Standards

DOWNTOWN CORE TRANSITION OVERLAY ZONE (DC) 9-4-102

CATEGORY	REGULATION	INTERPRETATION
LAND USE		
Applicable Base Zone	CO & CC	
Maximum Building Lot Coverage:	60% <i>*Intensity of the allowable building coverage of the lot area</i>	
Floor Area Ratio:	C-O = 1.0 C-C = 1.0 <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	
Permitted Uses:	<i>*Refer to section 9-4-102 C of this chapter</i>	
Conditional Uses:	<i>*Refer to section 9-4-102-D of this chapter</i>	

SETBACKS

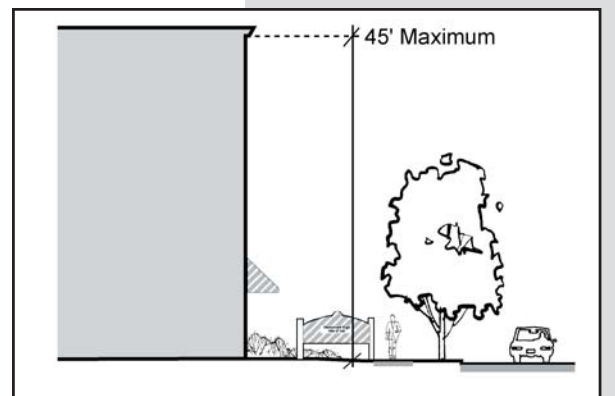
Front Yard:	C-O = 10' min.	C-C = 10' min.
Side Yards:	C-O = 5' min.*	C-C = 5' min.*
Rear Yard:	C-O = 10' *	C-C = 10' min.*
Corner Lot Side Yard:	C-O = 10'	C-C = 10' min.



**When adjacent to residential, a six foot decorative masonry wall is required along the property boundary.*

BUILDING MASSING

Building Height:	45 feet maximum
Landscaping:	25% of lot area for C-O 25% of lot area for C-C <i>*may include hardscape, plazas, courtyard areas, and planters</i>



PARKING

Parking Requirements:	50% of the parking requirements as set forth in Section 209 of Chapter 2 of Title 9 (Zoning).
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Parking shall be located off of alley access to the rear of the building unless the applicant can demonstrate it is infeasible to do so.

SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs

Freestanding Signs shall not exceed six (6') feet in overall height, measured from grade, may be internally illuminated, but external illumination is preferred, installed within a landscaped bed, and constructed of materials designed to complement the primary structure.



Wall Signs

Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.



A-Frame Signs

A-Frame Signs shall be permitted provided the sign complies with the following size and design requirements:

- No A-Frame Sign shall have more than two sides
- The overall size of the sign, including frame, shall not exceed two (2') feet in width and four (4') feet in height
- The sign shall be constructed of materials similar to those found on the building and/or the wall signs
- The sign shall not be placed on the public sidewalk in such a manner as to obstruct public access, including ADA accessibility requirements

A-Frame signs shall not be included in the sign area calculation for the building



OTHER

Design:

Compliance with the Downtown Core Transition District Design Guidelines section (Chapter 3-1A) is required.

9-4-103. TRANSITIONAL COMMERCIAL #2

The Transitional Commercial areas lay north, south, and west of the Downtown Core. These areas contain office and commercial buildings that cater to the auto-oriented consumer. These areas also serve as the main gateways into the downtown core and shall be designed to establish a good first impression of the downtown area. This can be accomplished by incorporating gateway signage and landscaping, providing a unified streetscape design, regulating signage, and screening parking. The following regulations are set forth to encourage a community character that will support the charm and character of the Downtown Core.

A. Specific Purposes

1. Allow for a variety of commercial uses and an architectural character consistent with a predominantly automobile oriented commercial district with appropriately scaled architecture.
2. To enhance aesthetics through improved landscape, landscaping, and architectural forms.
3. Create a pedestrian friendly and accessible commercial district environment.



■ DISTRICT 2 -
TRANSITIONAL
COMMERCIAL

B. Use Classifications Transitional Commercial (TC):

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of a residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D & E) may be permitted subject to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Automobile sales, automobile service, automobile repair (minor), animal boarding, animal grooming, animal hospitals, building materials & services, business and professional offices, convenience gas marts, cultural institutions, day care centers, financial institutions, food and beverage sales (less than 10,000 sf), funeral and internment services, government offices, hardware stores, health and recreation centers, hotels and motels, laundries (limited or self serve), medical and dental clinics, nurseries, personal services, recycling facility (small), residential (single and multi-family), retail sales, restaurants (including drive through), second hand stores, and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:

Automobile repair (major), bars, commercial recreation & entertainment, convalescent hospitals (including nursing homes and assisted living facilities), dance halls, equipment sales, service and rental, food and beverage sales (greater than 10,000 sf), interim housing, hospitals, nightclubs, outdoor storage, pawn shops, religious assembly uses, and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:


Equipment sales, service, and rentals, industrial uses, maintenance services, outdoor storage, rental storage facility.

F. Development Standards

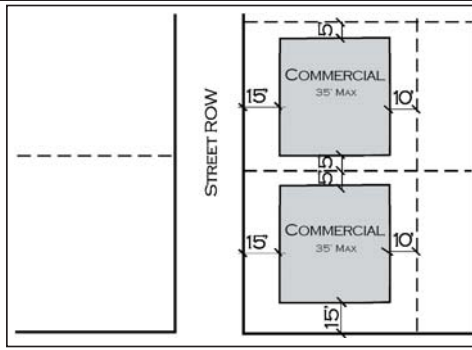
TRANSITIONAL COMMERCIAL OVERLAY ZONE #2 9-4-103

CATEGORY	REGULATION	INTERPRETATION
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LAND USE

Applicable Base Zone	CC	
Max Lot Coverage:	45% <i>*Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments.</i>	
Floor Area Ratio:	0.6 <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	
Permitted Uses:	Refer to Section 9-4-103 C of this chapter	
Conditional Uses:	Refer to Section 9-4-103 D of this chapter	


SETBACKS

Front Yard:	15 feet maximum* <i>*except for plazas, courtyards, entries or outdoor dining</i>	
Side Yards:	5 feet minimum*	
Rear Yard:	10 feet minimum*	
Corner Lot Side Yard:	15 feet minimum	

Setback area shall be landscaped

* Seven foot high decorative masonry walls shall be used when adjacent to residential uses or residential zoned property

BUILDING MASSING

Building Height:	35 feet maximum	
Landscaping:	25% of lot area <i>*may include hardscape, plazas, courtyard areas, and planters</i>	

PARKING

Parking Requirements:	Refer to City of Turlock’s parking requirements in section 9-2-200 of the Turlock Municipal Code
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SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Sites that support an auto-servicing use, such as automobile fueling/convenience gas mart, auto sales, auto repair, and the like may incorporate freestanding monument signs within the required landscaping. Such signs shall not exceed six (6’) feet in overall height, measured from grade, and may be internally illuminated. All materials for the sign shall be complementary to the primary structure. Otherwise, all signs within this district shall be permanently affixed to the wall of the primary structure. All wall or projecting signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited.

No portable A-frame style signs shall be permitted.



9-4-104 INDUSTRIAL/RESIDENTIAL #3

The Industrial/Residential area lies in the southwest sector of the downtown. This is a unique opportunity area to capitalize on the industrial character of the existing agricultural related buildings. Many vacant and under utilized sites currently occupy this district, however multi-family infill buildings, mixed use buildings, and enhanced streetscapes will help to liven up the area. There is also an opportunity to create an industrial gateway to the downtown core by providing gateway signage and improved landscaping along Golden State Boulevard. The following district regulations address the unique land use opportunities in this area by providing for market forces to work while addressing inherent land use conflicts.

A. Specific Purposes

1. Encourage economically viable re-use of existing agricultural/ industrial buildings.
2. Create opportunities for the market to determine appropriate land uses while preventing inherent land use conflicts.



DISTRICT 3 -
INDUSTRIAL
RESIDENTIAL

B. Use Classifications Industrial / Residential District (IR)

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing building floor area, which ever is less, or the conversion of a residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with

the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D &E) may be permitted subjected to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Ambulance services, animal hospitals, automobile repair (minor and major), automobile storage (see 9-2-112), bakeries (wholesale), Building materials and services, day care centers, government offices, industry (limited), interim housing, outdoor storage, parking lots, printing (limited and unlimited), , residential (single and multi family), trade schools, vehicle washing, warehousing, and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:

Commercial recreation and entertainment, convenience gas mart, emergency shelters, mixed use projects, nightclubs and dance halls, private schools, religious assembly uses, restaurants, transitional housing, and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:

Financial services, office uses (unless accessory to a permitted use), retail sales.

F. Development Standards

INDUSTRIAL RESIDENTIAL OVERLAY ZONE #3 9-4-104

CATEGORY	REGULATION		INTERPRETATION
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LAND USE	INDUSTRIAL	RESIDENTIAL
Applicable Base Zone	I	I
Maximum Building Lot Coverage:	35%	50%
Floor Area Ratio:	I = .4 <i>*Floor Area Ratio (FAR) is the ratio of building area to parcel area</i>	Residential = .75
Permitted Uses:	<i>*Refer to section 9-4-104 C of this chapter</i>	
Conditional Uses:	<i>*Refer to section 9-4-104-D of this chapter</i>	

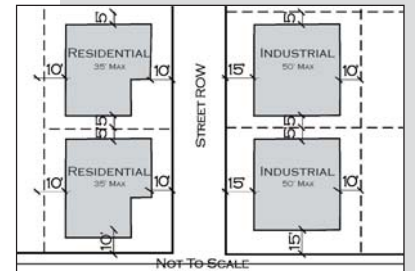


SETBACKS

	INDUSTRIAL	RESIDENTIAL
Front Yard:	15' min.	10' min.**
Side Yards:	5' min.*	5' min.*
Rear Yard:	10' *	10' min.*
Corner Lot Side Yard:	15'	10' min.

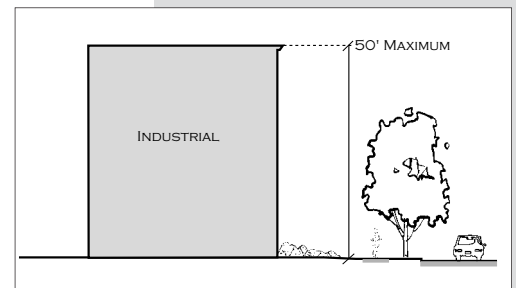
**When adjacent to residential, a seven foot decorative masonry wall is required along the property boundary.*

*** 20' to garage for single family residential units*



BUILDING MASSING

Building Height:	50 feet maximum Industrial 35 feet maximum Residential
Landscaping:	25% of lot area for Industrial 25% of lot area for Residential <i>*may include hardscape, plazas, courtyard areas, and planters</i>
Parking Requirements:	50% of the parking requirement set forth in the City of Turlock's Zoning Ordinance, section 9-2-209 for off-street parking requirements.



PARKING REQUIREMENTS

Industrial	Refer to parking requirements in section 9-2-200 of the Turlock Municipal Code.
Residential	Single Family Residential = min.. 2 spaces/unit Multi-Family Residential - refer to parking requirements in section 9-2-200 of the Turlock Municipal Code.

SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs	Freestanding Signs shall not exceed six (6') feet in overall height, measured from grade, may be internally illuminated, but external illumination is preferred, installed within a landscaped bed, and constructed of materials designed to complement the primary structure.
Wall Signs	Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting material is preferred over internal illumination. Cabinet signs are prohibited. No portable A-frame style signs shall be permitted.



9-4-105 OFFICE/RESIDENTIAL DISTRICT #4

The intent of the office/residential district is to preserve the character of the traditional residential neighborhoods while providing for the orderly and logical conversion or transition to compatible office uses as the market allows. The office/residential district area shall maintain its character as a traditional residential neighborhood through the preservation of historic residential structures and the establishment of guidelines for new construction, remodels and renovation that will ensure a residential scale and character. The pedestrian friendly environment in this area is also a priority. Unifying the streets with street trees and continuous sidewalks will further enhance the pedestrian friendly environment. Streetscape elements consistent with the Downtown Core elements such as; street lights, trash receptacles, and benches placed in appropriate locations will visually unify and tie together this district to the Core.

A. Specific Purposes

1. Preserve historic character of buildings and residential character of the District.
2. Promote residential scale design for new office development.
3. Maintain and enhance a pedestrian friendly environment.

 DISTRICT 4 - OFFICE/RESIDENTIAL



B. Use Classifications Office / Residential (RO):

All new or expanded uses of a site or structure, involving an expansion of floor area of 1,000 square feet or 25% of the existing

building floor area, which ever is less, or the conversion of an existing residential structure to a non-residential use, are subject to design review in accordance with Article 9-5-1000. Design review shall take place concurrently with the processing of any other required permit. Compliance with the adopted design guidelines of the City of Turlock is mandatory for all commercial developments subject to design review.

Alterations or modifications to a developed site or the exterior of an existing structure are subject to review in accordance with *Article 3 of Chapter 5 of Title 9 of the Turlock Municipal Code: Minor Administrative Approvals*. The review is to ensure compliance with the established policies, standards and guidelines adopted by the Turlock City Council.

Any change in use or business within an existing structure which does not require an approved CUP, shall obtain a Zoning Certificate in accordance with *Article 9-5-100: Zoning Certificate*. The zoning certificate shall be obtained prior to the issuance of a building permit or prior to commencement of a use where no building permit is required.

Uses not contained in the following sections (C,D & E) may be permitted subjected to a Conditional Use Permit. Such conditional uses must be of a similar nature and intensity as other uses in the district as determined by the Community Development Director or designee.

C. Permitted Uses:

Business and professional offices, cultural institutions, day care centers, medical and dental clinics, personal services, residential (single and multi-family) and other similar uses as determined by the Community Development Director or designee.

D. Conditionally Permitted Uses:


Convalescent hospitals (including nursing homes and assisted living facilities), financial institutions, interim housing, hospitals, mixed use projects, neighborhood stores, religious assembly uses, restaurants (including delicatessens), and other similar uses as determined by the Community Development Director or designee.

E. Prohibited Uses:

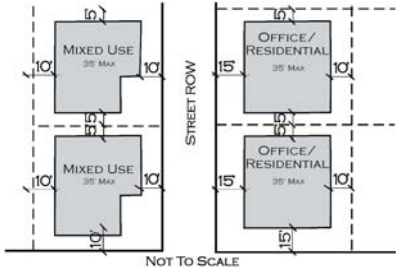
Auto sales, service, and repairs, drive through restaurants, drive through personal services, industrial uses, outdoor storage, rental storage facilities, retail sales, and other similar uses.

F. Development Standards

OFFICE/RESIDENTIAL OVERLAY ZONE #4 9-4-105

CATEGORY	REGULATION		INTERPRETATION
LAND USE	OFFICE/RESIDENTIAL	MIXED USE	
Applicable Base Zone	CO, R-L	CO, R-L	
Max Building Lot Coverage:	40%	60%	
	*Intensity of the allowable building coverage of the lot area. See design guidelines for how to handle frontage treatments.		
Floor Area Ratio:	.6 for Office/Residential .8 for Mixed Use		
Permitted Uses:	Refer to Section 9-4-105 C of this chapter		
Conditional Uses:	Refer to Section 9-4-105 D of this chapter		

SETBACKS

	OFFICE/RESIDENTIAL	MIXED USE	
Front Yard:	15 feet min. <i>*except for plazas, courtyards, entries or outdoor dining</i>	10 feet min.	 <p>NOT TO SCALE</p>
Side Yards:	5 feet min.*	5 feet min.	
Rear Yard:	10 feet min.*	10 feet min.	
Corner Lot Side Yard:	10 feet min.	10 feet min.	

BUILDING MASSING

Building Height:	35 feet maximum
Landscaping:	30% of lot area. Refer also to City's Landscape Master Plan



PARKING REQUIREMENTS

Office	50% of the required number of parking spaces for office uses found in section 9-2-200 of the Turlock Municipal Code On-street parking directly abutting property may be applied to meet office parking requirements
Residential	Single family residential = 2 spaces/unit

SIGNAGE

Signage in accordance with TMC 9-2-500ART (Signs) except:

Freestanding Signs Freestanding Signs shall not exceed four (4') feet in overall height, measured from grade, may be externally illuminated, installed within a landscaped bed, and constructed of materials designed to complement the primary structure.

Wall Signs Wall Signs shall be placed on the building in such a manner as to enhance, not detract or hide, architectural features of the building. External illumination using appropriate lighting fixtures is permitted. Cabinet signs are prohibited.

No portable A-frame style signs shall be permitted.



3 GENERAL DESIGN GUIDELINES

GENERAL DESIGN GUIDELINES FOR DOWNTOWN TURLOCK

Building facades that have a sense of cohesiveness and aesthetic pride can encourage shopping, increase one’s sense of security, and generate pedestrian activity; all of which is essential and necessary for Downtown Turlock to thrive. Many building facades in downtown Turlock have a charming historic architectural style reminiscent of the mid to early 1900’s as well as several art-deco style buildings peppered among them. In addition, there are some newer buildings that are scattered throughout the downtown area, a few of which, have architectural styles that are inconsistent with the historic theme or have failed the test of time. While these guidelines are intended to provide a general framework for design and do not mandate specific architectural styles, themes or details; new developments shall take into consideration the existing historic architectural theme and style. The user should know that while individual and guideline conformance is flexible, the overall intent of the design guidelines presented in this document is NOT optional. However, these guidelines are not binding and the City will be open to considering innovative, alternative design concepts that reinforce the intent expressed herein. These guidelines shall be applied to any type of new construction or physical change in the building’s appearance within the Downtown District boundaries defined by Figure 4. Refer to the Application Process on page 1-12 for further information.

Exterior Building Materials & Colors

These guidelines are intended to build upon the guidelines provided in the Materials and Colors section of each downtown overlay zone district. The basic recommendations for color and material selection shall be reviewed in conjunction with this section.

Exterior Materials

The following listings of appropriate and inappropriate materials were developed based upon the professional judgment and opinions of those involved in the development of these guidelines. The materials listed as “appropriate” have generally stood the test of time to have desirable aesthetic qualities, while those listed as “inappropriate” have failed to do so. Certain materials have been omitted because their success or failure has more to do with the overall design, rather than the materials themselves.

These listings are intended to provide general guidance, and are not intended to be exhaustive; designers should not feel that they must limit their material palette to the following selections. New materials and refined fabrication methods are continually being introduced and Turlock encourages designers to take advantage of these innovations.



THIS BUILDING CONTAINS MANY GOOD DESIGN ELEMENTS SUCH AS CORNER EMPHASIS, OUTDOOR EATING AREAS, AND WELL COORDINATED BUILDING COLORS AND MATERIALS



ATTRACTIVE BUILDING FACADES HAVE VARYING TEXTURES, COLORS, AND WALL PLANES.



NATIVE STONE MATERIALS HAVE HELPED TO MAKE THIS AN ATTRACTIVE PUBLIC SPACE.



HISTORIC BUILDINGS WITH ELABORATE BUILDING CORNICES HAVE HELPED TO ARCHITECTURALLY DEFINE DOWNTOWN TURLOCK



METAL CORRUGATED SIDING, METAL OVERHANGS, AND GOOSE-NECK LIGHTING MAKE THIS AN ATTRACTIVE INDUSTRIAL BUILDING



VARIED FORMS AND ROOFLINES ARE ENCOURAGED

Appropriate Primary Wall Surfaces

- ◆ Native stone veneer
- ◆ Cement plaster stucco
- ◆ Smooth and hand-troweled stucco
- ◆ Tile (used at base or for accent only)
- ◆ Rough, split-face masonry
- ◆ Wood siding/ shingles
- ◆ Cement/ fiber siding (6", 8", or 12" horizontal siding)
- ◆ Brick

Inappropriate Primary Wall Surfaces

- ◆ T-111 Siding (4'x8' plywood sheets with vertical grooves at 8"-12" increments)
- ◆ Highly polished materials
- ◆ Mirror or heavily tinted glazing
- ◆ Corrugated metal/ fiberglass panels
- ◆ Metal siding
- ◆ Spray-on or knock-down stucco

Appropriate Wall Articulation and Accents:

- ◆ Accent tile
- ◆ Stucco corbels², lintels³, sills⁴
- ◆ Timber lintels, sills, corbels
- ◆ Clay tile vents
- ◆ Wood vents
- ◆ Recessed niches
- ◆ Colonnade
- ◆ Wrought Iron
- ◆ Wood trellises/ shading devices

Appropriate Roofing Materials

- ◆ Dimensional asphalt/ composite shingles
- ◆ Metal roofing
- ◆ "Cool Roof" built-up roofing

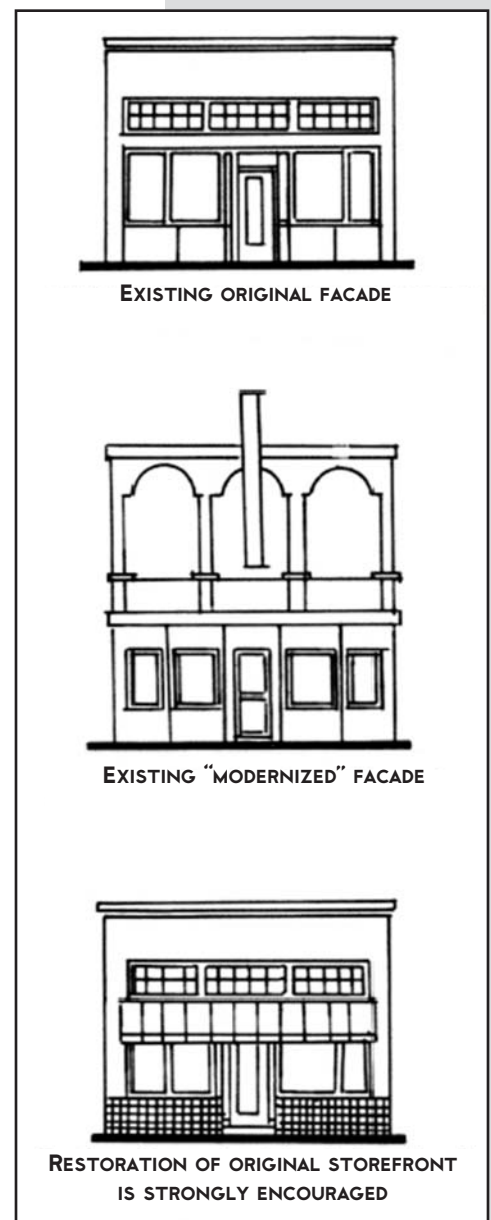
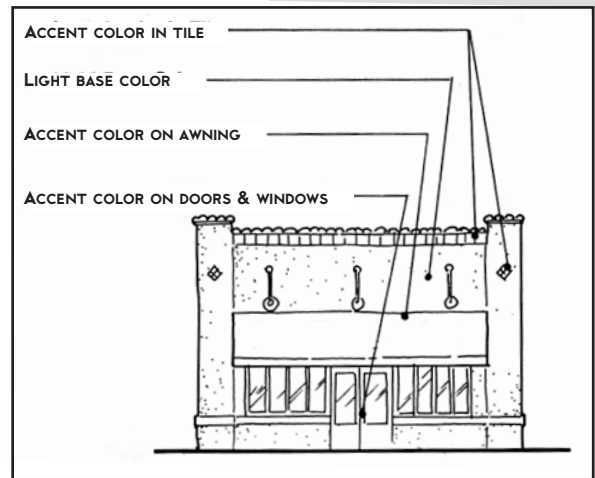
Exterior Colors

- ◆ Light, subtle, earth tones such as tan, beige, sand, and cream used in conjunction with bold, rich complementary accents are appropriate color choices.
- ◆ Simple color schemes involving a maximum of 3 colors are recommended.
- ◆ Bright colored and stark white walls are discouraged.
- ◆ Certain materials, such as stone and brick, have distinct coloring in their natural state and shall be thought of as an element of the color palette used. These materials shall not be painted.
- ◆ Brighter colors shall be used as accents.

Design Considerations

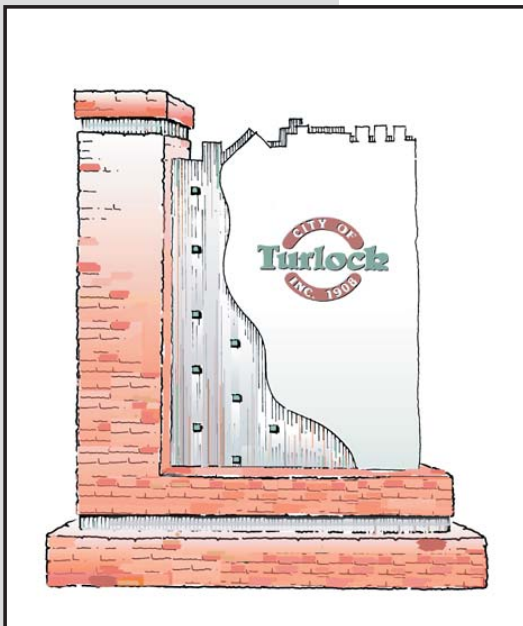
Many existing developments within the community are in need of renovation. Façade and character upgrades can make a dramatic difference in the attractiveness and desirability of a retail piece of property. Simple cosmetic changes such as painting, incorporating appropriate signage and lighting, and installing shading devices can significantly improve the appearance of the building. The removal of unsafe and unsightly building components, such as deteriorated stucco, mansard roofs, and other materials, will also greatly enhance the aesthetics of the entire community.

- ¹ Decorative-corrugated metal siding may be appropriate for industrial buildings if they fit within the character of the district.
- ² A projection of one of a series of projections, each stepped progressively outward with increasing height, and usually projecting from a wall or chimney.
- ³ A horizontal structural member (such as a beam) over an opening.
- ⁴ A horizontal member, at the bottom of the frame of a wood structure





THE WESTERN ENTRY INTO DOWNTOWN TURLOCK COULD BE ENHANCED WITH A GATEWAY SIGN FEATURE SIMILAR TO THE EXAMPLES BELOW.



VARYING MATERIALS AND TEXTURES HELP TO MAKE A CAPTIVATING GATEWAY SIGN



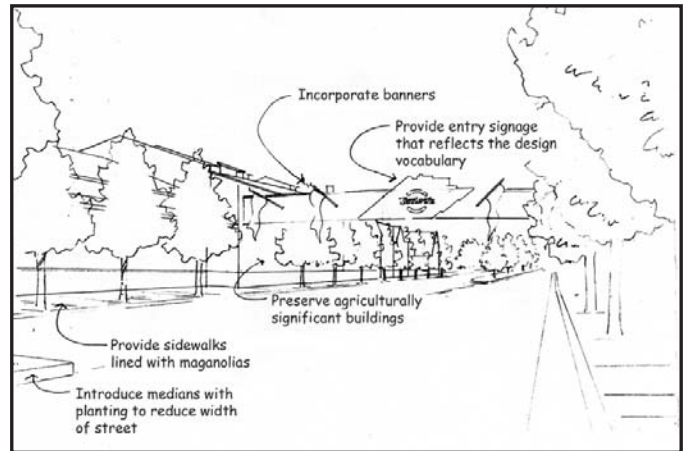
GATEWAY SIGNS PLACED IN THE MEDIAN BENEFIT DRIVERS GOING BOTH DIRECTIONS

Gateways

Gateways are intended to identify primary entrances into the Downtown Core. Incorporation of “gateway scenes” at the defined gateway locations (see figure 5) will function as a visual anchor to clearly identify the area as a gateway. “Gateway scenes” shall be composed of specific elements that serve to provide a sense of arrival, reaffirm direction and reinforce the identity and character of Downtown Turlock. Placement and consistency of gateway monuments and signs will help pedestrians and autos know when they are entering and exiting the downtown boundaries. Where possible, landmark buildings/architectural elements shall be used to define gateway locations. Refer also to the “Gateway Corridors” section of the Turlock Beautification Master Plan in Appendix A of this document.



THE OVERPASS CONNECTING THESE TWO INDUSTRIAL BUILDINGS ACTS AS A NATURAL GATEWAY FROM THE EAST. THE ILLUSTRATION TO THE RIGHT DEPICTS HOW IT COULD BE ENHANCED WITH LANDSCAPING AND SIGNAGE.



A COMBINATION OF LANDSCAPING AND SIGNAGE WOULD MAKE THIS AN ATTRACTIVE EASTERN DOWNTOWN GATEWAY.

FIGURE 6 - GATEWAY LOCATIONS



Downtown Gateway



City Gateway



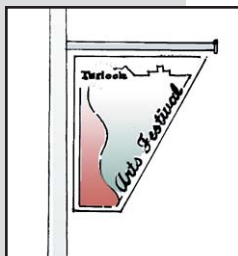
THE STYLE OF BENCH SHOWN ABOVE SHOULD BE USED IN ALL OF THE DOWNTOWN REGULATION DISTRICTS IN ORDER TO CREATE A SENSE OF UNITY AND CONSISTENCY.



PAVERS SHOULD BE CONSISTENT WITH THE EXISTING STYLE.



STREET LIGHTS CAN BE ENHANCED WITH BANNERS THAT ANNOUNCE COMMUNITY EVENTS.



Streetscapes

Streetscape elements incorporated throughout the Downtown's regulation districts will provide an opportunity to reflect consistent character and visually connect and unify the Downtown. Enhancements such as benches, brick pavers, planters, planter urns/pots, transit shelters, banners, and light posts will help give the downtown a cohesive look. Further streetscape information is included in each of the corresponding Downtown District sections of this document.

Benches

The style of bench used in the downtown core shall be used in all of the downtown regulation districts in order to create a sense of unity and consistency.

Street Lighting

Historic light posts reflect Turlock's history and are visually connected with the downtown. Light posts introduced along corridors provide repetition, rhythm, and visually unify corridors. Consolidation of signage into light post will minimize visual clutter. Banners and/or hanging pots may be attached to light posts to visually stimulate pedestrians and drivers. The style of light post currently used in the downtown core shall be used in all areas defined by the downtown regulation districts. However, the dual luminaire style light fixture shall only be used in the Downtown Core and along Golden State Blvd. The remaining areas in the Downtown area shall use a single luminaire style light fixture consistent with the style used in the Core.

Stop Lights

In order to enrich the streetscapes of Turlock, stop lights shall be painted dark green (consistent with the existing street lights) until funding becomes available to replace them with a more historic looking pole.

Pavers

Enhanced paving visually unifies and provides hierarchy along a corridor. Brick pavers recall Turlock's history and reinforces a connection to the Downtown. Pavers currently used in the Downtown Core shall continue to be used in all of the downtown regulation districts to create a sense of unity and consistency. To differentiate the emphasis on the Core Area, use of pavers outside of the Core shall be limited to accent paving (i.e. banding, at intersections, or at crosswalks).

Banners

Banners are temporary signs that can be used to publicize special events or highlight aspects of Turlock's rich heritage. Banners advertise what is special and unique to Turlock and add color and excitement to corridors. Typically located on light posts, banners shall be placed high enough above

the roadway to accommodate truck traffic. Banners shall be consistent with the historic theme, City logo, and compatible graphics.

Trash Cans

Trash cans shall be placed at convenient locations throughout Downtown in order to use. In order to create a sense of unity, trash can style shall be consistent with the style currently used in the Downtown Core.



PREFERRED TRASHCAN

Bike Racks

Bike racks shall be placed near transit stops and office buildings to encourage bicycling as an alternative to automobile use. The rack style shall remain consistent with the ones used in the downtown core.

Transit Shelters

Transit shelters are highly visible and can become strong unifying elements throughout the five regulation districts. It is important that the transit amenities are aesthetically pleasing and are an asset to the Downtown. Shelters shall incorporate design elements consistent with the historic theme of the Downtown Core.



PREFERRED PLANTER URN AND POT

Planters

Planters provide unity, pedestrian scale, and visually enhance and establish hierarchy along corridors. The design for the planters throughout the downtown regulation districts shall incorporate a similar design vocabulary to provide uniformity, but may incorporate additional materials, and/or art, to reflect the character of the specific corridor.

Planter Urns & Pots

Planter urns and pots provide a place for special annual color and reinforce a more urban environment. Planter urns and pots shall incorporate the architectural character and scale of the building they are placed adjacent to. Property owners shall be prepared to maintain and water urns and pots as necessary.



PROPOSED TRANSIT SHELTER

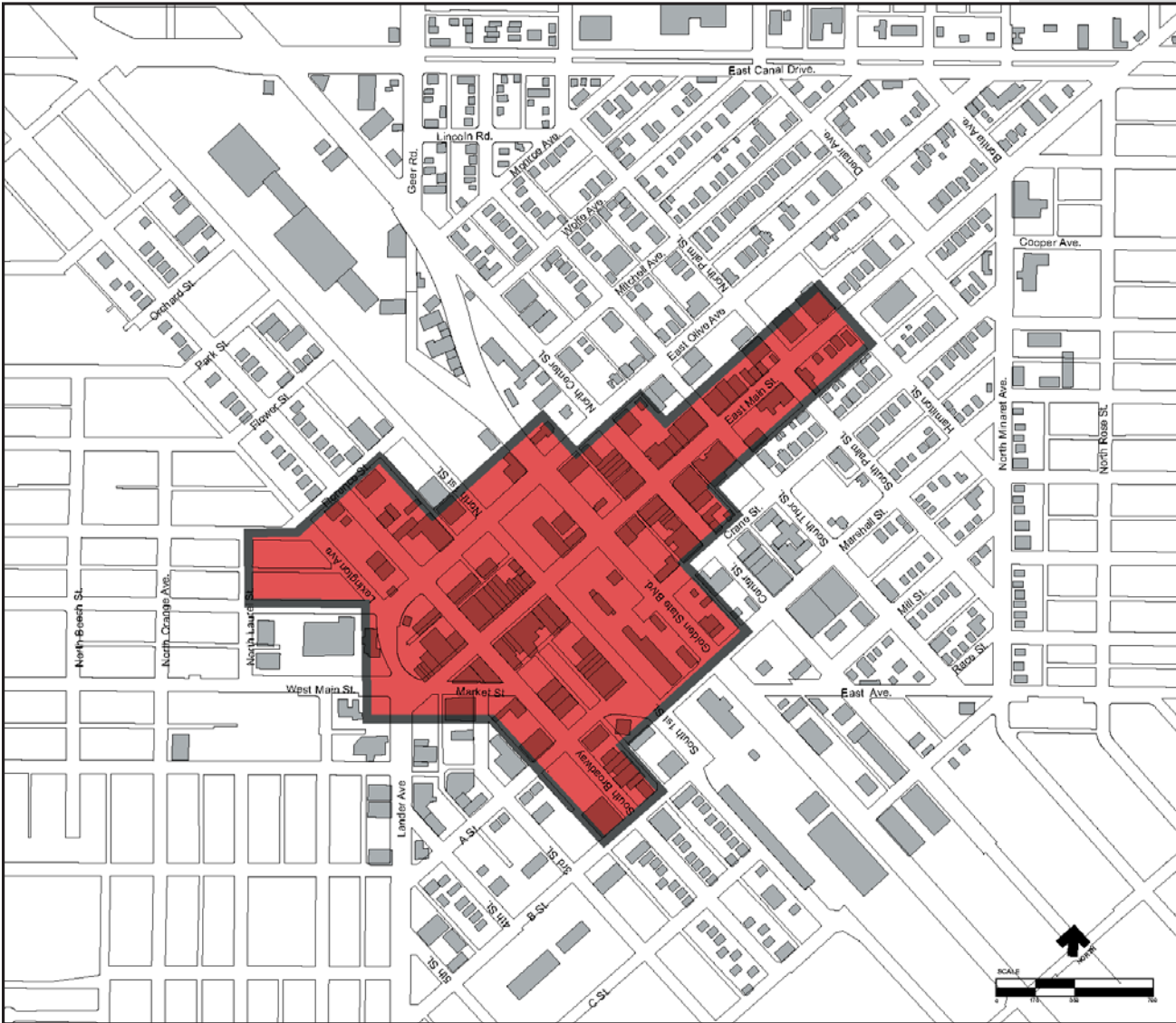
Kiosks & Way Finding Signage

Kiosks and way finding signage help to direct people around the city. Way finding signage complete with maps and 'you are here' icons shall be placed at key intersections to help locals and tourists navigate their way around the downtown. These signs shall draw attention to areas of historic and cultural significance as well as shopping and entertainment destinations.



PREFERRED WAY FINDING SIGNAGE

3-1 DOWNTOWN CORE



DOWNTOWN CORE

DESIGN GUIDELINES

 District 1 - Downtown Core

1. Downtown Core

The Downtown Core is the heart of Turlock. It's a place where shopping, dining, and entertainment is encouraged and is an area where buildings shall be high in density in order to achieve an urban appearance. Buildings shall range from two to four stories in height in order to encourage mixed use commercial, office, and residential structures. The design and look of the Core communicates the historic character of the City through the use of architecture and streetscape design. The following guidelines are intended to preserve and enhance the historical character of the Downtown Core and the quality of public realm (streetscape, public parking, plazas, etc) improvements. Hence, any new structure, addition, remodeling, or other construction requiring a building permit within this district shall adhere to these guidelines where applicable.

The guidelines are grouped into the following categories:

1. Site Design
2. Building Mass and Scale
3. Building Form and Roofline
4. Building Entrances
5. Building Materials and Colors
6. Windows and Doors
7. Awnings and Overhangs
8. Screening of Utilitarian Equipment and Trash Enclosures
9. Loading and Delivery
10. Signage
11. Lighting
12. Outdoor Space
13. Mixed Use Projects
14. Streetscapes
15. Sidewalk Cafes
16. Golden State Blvd.
17. The Railroad Corridor



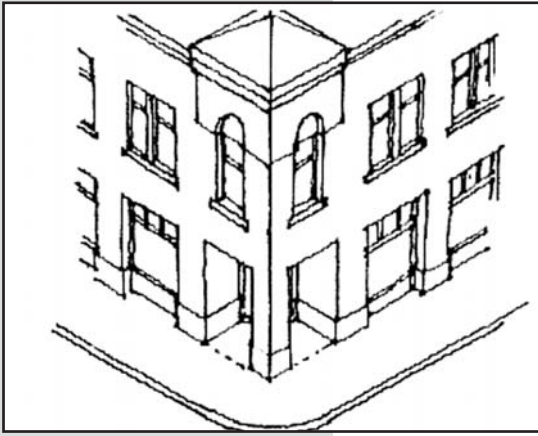
LANDSCAPING AND BULBOUTS MAKE THIS A PEDESTRIAN FRIENDLY INTERSECTION.



THE LANDSCAPED MEDIAN AND CORNER ORIENTED BUILDING HELP MAKE THIS AN ATTRACTIVE ENTRANCE TO WEST MAIN STREET.



THIS BUILDING FACADE IS AN EXAMPLE OF THE HISTORIC STYLE OF ARCHITECTURE FOUND IN DOWNTOWN TURLOCK.



FOCAL POINTS SUCH AS TOWERS HELP TO CREATE INTEREST AND GIVE IDENTITY TO THE DOWNTOWN



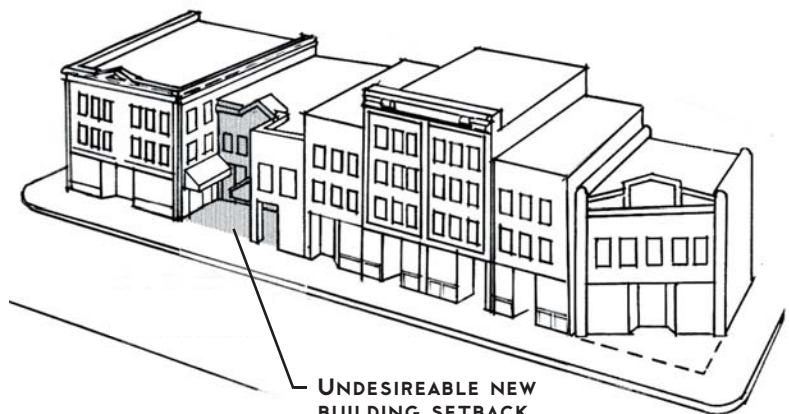
PUBLIC ART CAN BE PLAYFUL AS WELL AS INTERESTING



ALLEYWAYS AND SIDES OF BUILDINGS SHALL BE INVITING

1. Site Design

- a Infill buildings and remodels in the Downtown Core shall give careful consideration to adjacent building conditions and their historic architectural features and scale. Buildings shall be sited and designed to reinforce the scale, massing and rhythm of adjoining facades.
- b Each project is encouraged to have a unique identity but shall integrate appropriate design elements from adjacent structures such as materials, roof forms, window treatments, and architectural style. Building height shall vary from building to building.
- c Special attention shall be given to building orientation and articulation on corner sites. Prominent architectural features such as clock towers, marques and building entries shall be located at and oriented to the corners and intersections.
- d All new infill buildings shall be designed so at least 75% of the buildings frontage is retail storefront set at the back of the sidewalk.
- e Focal points such as plazas, landscape elements, fountains, public art, textured pavement, and vertical building features shall be utilized to create interest, identity and a sense of place (see outdoor spaces).
- f Public art shall be incorporated into buildings and public spaces.
- g Blank walls or loading areas shall not face public streets
- h Alley ways shall be considered as valuable public space and made more inviting. Buildings shall incorporate window displays, landscaping, lighting, pavers, and alleys shall be clear of trash containers, and utility equipment whenever possible.
- i Spaces in commercial buildings shall be designed so that they can be leased to more than one tenant.

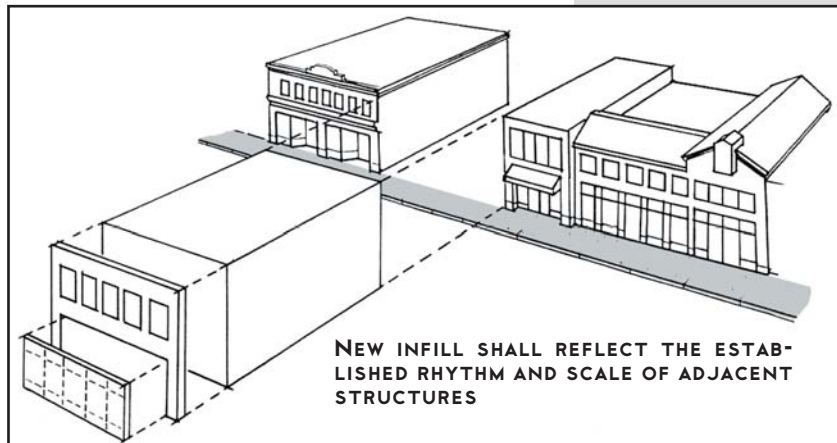


2. Building Mass and Scale

- a Each building shall have a recognizable base, body, roof line and entry.
- b Massing design may include:
 - o Variation in the wall plane (project and recess)
 - o Variation in wall height
 - o Roof located at different levels
- c Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not extend more than 50 feet without a significant variation in wall plane.
- d Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to articulate and create rhythm in the building façade.
- e New buildings shall express their own uniqueness of location, tenant, or structure, designed especially for the particular site and not as a copy of a generic building type which might be used anywhere.
- f Corporate “chain” style architecture shall be avoided in the Downtown Core as it detracts from the historic feel of Turlock. Corporate tenants will be required to design their buildings to fit the scale and character of the Core.
- g Upper floors may be appropriate for varied setbacks to accommodate balconies, seating, and other architectural treatments.
- h Structures larger than two stories shall be reduced in scale by creating horizontal emphasis through the use of trim, awnings, eaves, or other ornamentation, and by using a combination of complimentary colors.
- i Building scale can be reduced through proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- j Architectural details and materials on lower walls that relate to human scale such as trellises or awnings shall be utilized (see awnings and overhangs for more detail).
- k Articulated storefronts with carefully arranged doors, windows, roof overhangs, rather than blank walls shall face onto pedestrian spaces and streets.



ELEMENTS SUCH AS AWNINGS HELP TO GIVE BUILDINGS A PEDESTRIAN ORIENTED SCALE



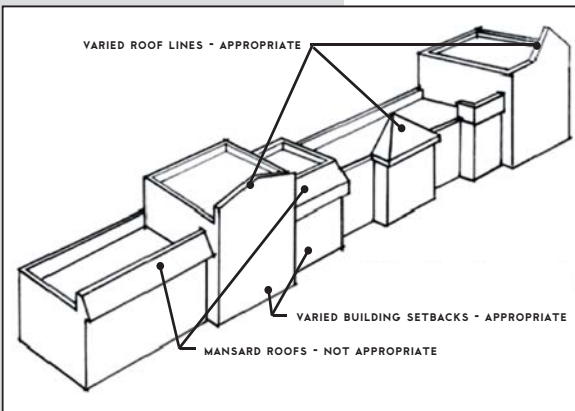
NEW INFILL SHALL REFLECT THE ESTABLISHED RHYTHM AND SCALE OF ADJACENT STRUCTURES



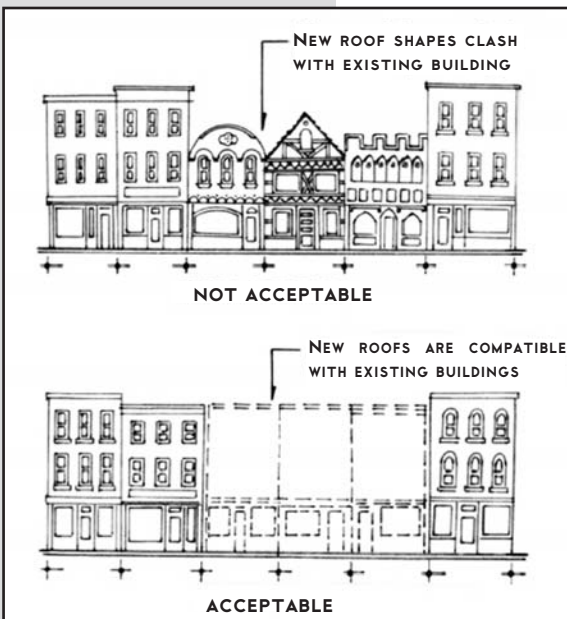
BUILDING PARAPETS AND CORNICES GIVE IDENTITY TO A BUILDING AND HELP TO SCREEN ROOFTOP EQUIPMENT.



UNIQUE ROOF TREATMENTS GIVE THE BUILDING CHARACTER



VARIATION OF ROOF LINES, DETAILS AND HEIGHT IS ENCOURAGED.

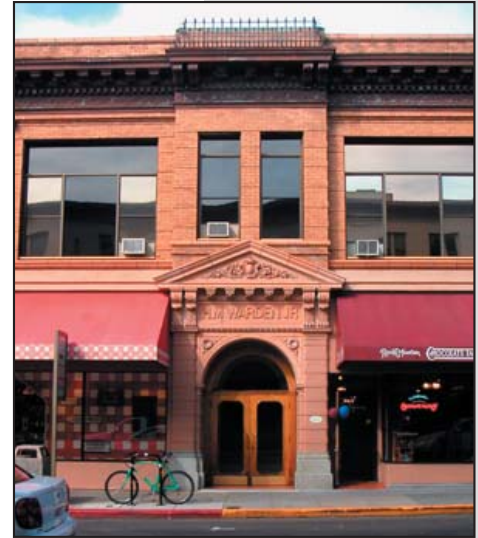


3. Building Form and Roofline

- a Building volumes in downtown Turlock have simple yet strong rooflines. New structures shall use rooflines that reflect the current historic character and may use sloping roof forms as accents.
- b Multi-form roofs, gabled and shed roof combinations shall be used to create an interesting and varying roof form that will lessen the mass of the building, and add visual appeal.
- c Roof materials and colors shall be consistent with the desired architecture and complementary to adjacent structures.
- d Mansard roofs are inappropriate in the Downtown Core and shall be eliminated as buildings redevelop.
- e Deep roof overhangs shall be used to create pedestrian arcades, verandas, and have climatic benefits.
- f Parapets shall be used, when sufficiently detailed, to screen roof mounted equipment and provide a contrast to gabled or hipped roofs.
- g Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.
- h Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade.
- i Parapets shall not appear “tacked on” and shall convey a sense of permanence. If the interior side of the parapet is visible from the pedestrian/motorist area of the building, it shall receive appropriate detail, and proper application of materials shall be utilized.

4. Building Entrances

- a The building entryway shall be designed as a significant aspect of the building's overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entry ways shall be included in the design as they help to break up the building's mass and prevent a "barracks-like" façade.
- c At a minimum, store frontages and entrances shall include one or more of the following features: transparent display windows, recessed or accentuated entries, pedestrian oriented signs, and high quality construction materials. Other features that could be included are public art, custom entry tiling, canopies/awnings, outdoor dining areas, and landscaped containers.
- d Upper floor entries at the street frontage shall have their own distinct design that complements the main building frontage.



A CHANGE IN THE HORIZONTAL PLANE HELPS TO EMPHASIZE THE ENTRY INTO THIS BUILDING

5. Building Materials and Colors

- a Where appropriate, "green materials" such as recycled wood, non-toxic paint, and low-voltage lighting shall be used provided that they fit the historic character and style of Downtown Turlock.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Use of color, arrangement of façade elements, changes in materials, or other features shall articulate different parts of a building's façade.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the buildings color palette shall be used at the base of the building in order to "ground" the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- g Buildings shall keep a balanced color palette between base colors and "brighter" or "darker" accent colors on each building.



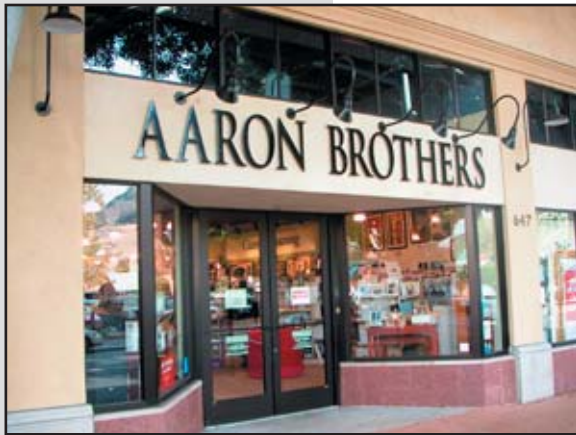
A VARIATION IN COLOR HELPS TO EMPHASIZE THIS BUILDING'S ENTRANCE.



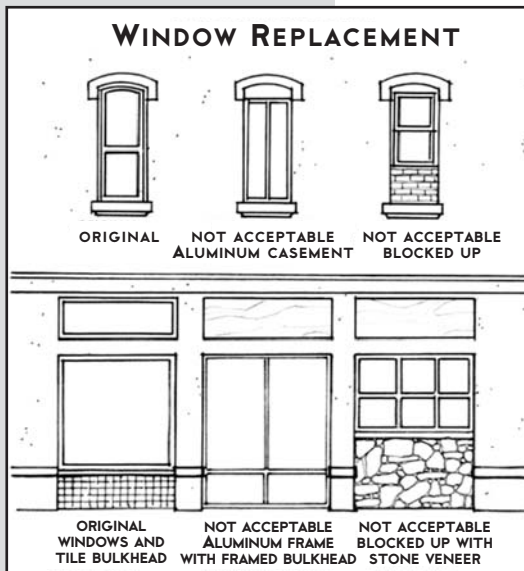
USE OF COLOR, ARRANGEMENT OF FACADE ELEMENTS, AND CHANGES IN MATERIALS HELP TO ARTICULATE THIS BUILDING FACADE



SUBDUED COLORS USUALLY WORK BEST FOR THE OVERALL BUILDING COLOR. ACCENT COLORS SHALL BE USED FOR AWNINGS, DOORS, AND TRIM.



RECESSED ENTRY WAYS AND LARGE WINDOW DISPLAYS SHALL BE USED.



- h Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright “hospital” whites.
- i Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.
- j Colors shall coordinate with natural/unpainted materials used on the facades such as pressure treated wood, tile, brick, and stone.

6. Windows & Doors

- a Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale and shall be used.
- b Window type, material, shape, and proportion shall complement the architectural style of the building entry.
- c Windows shall be located to maximize daylighting and views.

d Skylights, roof monitors, or light wells shall be used to add daylight to upper floors.

e At the street level, windows shall have pedestrian scale and detail. The framing provides opportunity for color variation and detail.

f Storefront windows and doors shall be of the same style. The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.

g Recessed openings, windows and doors provide depth and can help break up the apparent mass of a large wall.

h Windows shall be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, block, or stone.

i Windows on upper floors shall reinforce the typical rhythm of upper story windows found on historic buildings.

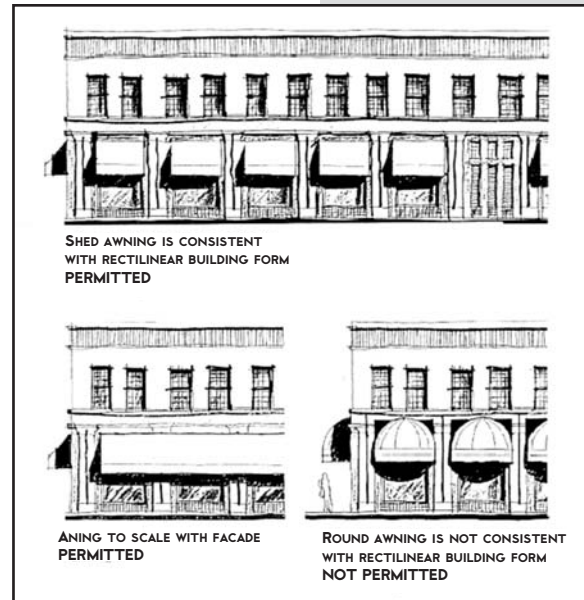
j Operable windows shall be used to provide natural air circulation and allow interchange between indoor and outdoor spaces.

k Retail storefronts with display windows shall be used within the creatively designed façade. Large expanse of glass, glass curtain walls, or glass buildings are not appropriate in the Downtown.

l Windows and doors shall be designed as accent elements with details such as lentils, moldings, and lights.

7. Awnings and Overhangs

- a Awnings add color, form, relief, and pedestrian protection from the elements and shall be used where appropriate. They may also create a space for identification signage.
- b Open ended awnings shall be used as opposed to boxed awnings.
- c When adding an awning to an existing historic building, the awning or overhang shall match the architectural character of the facade. This applies to new buildings as well.
- d Awnings shall reflect the shape of the window openings.
- e Awnings shall be placed within vertical elements when the façade of a building is divided into distinct structural bays.
- f In addition to signage, awnings shall help to clearly demarcate the buildings entries and help orient pedestrians and motorists.
- g Permanent shading devices shall be aesthetically pleasing in addition to cooling the building during summer months.
- h Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace and maintain the awnings.
- i Awnings shall be regularly maintained and kept free from tears, fading, and stains.
- j Awnings shall be made of cloth (not plastic, metal, or vinyl) and shall be high enough so as not to inhibit pedestrians.
- k Awnings shall not be wrapped around buildings in continuous bands. Awnings shall only be placed on top of doors, windows, and other openings where arcades are not otherwise utilized.
- l Awnings shall not dominate the façade but rather be in scale with the rest of the building.
- m Where vertical building elements do not provide the appropriate segmentation of awnings, awning runs shall not exceed 20 feet and segments shall be proportional to the façade dimensions.



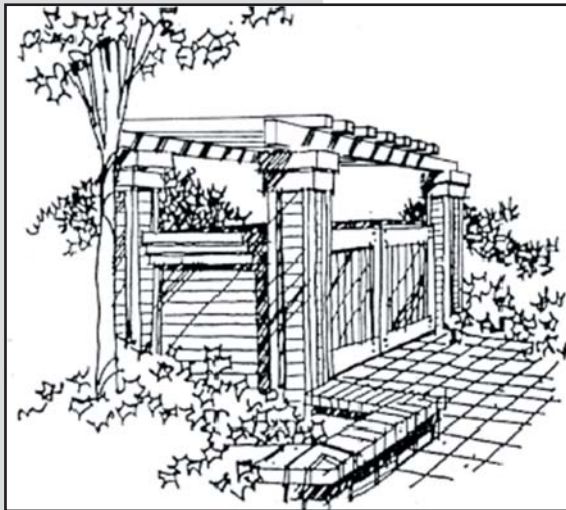
AWNINGS SHALL BE IN SCALE WITH THE REST OF THE BUILDING.



AWNINGS SHALL BE PLACED WITHIN VERTICAL ELEMENTS WHEN THE FACADE OF THE BUILDING IS DIVIDED INTO DISTINCT STRUCTURAL BAYS.



AWNING COLOR SHALL BE INTEGRATED INTO THE OVERALL COLOR SCHEME OF THE BUILDING.



A COMBINATION OF ELEMENTS SUCH AS A TRELLIS AND LANDSCAPING SHALL BE USED TO SCREEN TRASH ENCLOSURES.



TRASH ENCLOSURES SHALL BE CONSISTENT WITH THE STYLE OF THE BUILDING ARCHITECTURE.

- n Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks. Internal lighting of translucent awnings is discouraged.
- o Overhangs shall incorporate a fabric, metal, or wood trim that coordinates with other architectural features on the building.
- p Buildings with existing overhangs/canopies shall incorporate/restore historic detailing of fascia and canopy supports.
- q The color of awnings and overhangs shall be integrated into the overall color scheme of the project.
- r Awnings and overhangs shall not be placed so that they would split a window in half.

8. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be considered early in the building design process to ensure appropriate and complementary placement and design.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- c Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- d Where feasible, electrical power lines and other mechanical equipment connections shall be placed underground to maximize safety and minimize visual distraction.
- e New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- f All new on-site connections and utilities shall be installed underground
- g Roof access shall be designed to be reached from the interior of the building. Where required, exterior roof ladders shall be placed at the rear or non-street side of the building.
- h Trash/Recycling enclosures shall be designed to be consistent with the style of the building architecture.

This is best accomplished through the use of the same materials and colors. Trash receptacles located in or near public parking areas shall meet City of Turlock's design standards.

- i In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design as an additional screen.
- j A separate pedestrian entrance shall be incorporated into the trash enclosure design.
- k Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site. Where feasible, shared facilities shall be provided.

9. Loading and Delivery

- a Loading areas shall be generally located in the rear of the site where they can be screened from view. Where loading areas cannot be located in the rear of the building, special temporary parking zones shall be defined to allow for quick and easy delivery of goods.
- b Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles for convenient access by each tenant and located to minimize circulation conflicts with other site uses.

10. Signage

Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown Core and streetscape, especially the more unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter.

- a The sign regulations and guidelines are stated in 9-2-500ART. in the City's Zoning Ordinance and shall be adhered to at all times.
- b Signs shall coordinate with the building design, materials, color, size, and placement.



UNIQUE SIGNAGE GIVES CHARACTER TO THE STOREFRONT.



SIGNS THAT INCORPORATE THE LOGO OR ICON OF THE BUSINESS ARE ENCOURAGED.



BUILDINGS WITH MULTIPLE TENANTS SHALL HAVE A UNIFYING SIGN PROGRAM



THIS SIGN HELPS TO EMPHASIZE THE BUILDING'S ENTRANCE.



SIGNS CAN ADD CHARACTER TO THE EXTERIOR OF THE BUILDING.

- c Signs reflecting the type of business through design, shape, or graphic form shall be used.
- d The method of sign attachment to the building shall be integrated into the building and the overall sign design chosen.
- e Signs shall not cover up windows or important architectural features.
- f Sign variety shall be considered among different users.
- g Flush mounted signs shall be positioned within architectural features, such as the window/panel above the storefront or flanking the doorways.
- h Flush mounted signs shall align with others in the "center" so as to maintain the existing pattern.
- i Signs shall be externally illuminated with concealed direct lighting or architecturally treated direct lighting.
- j Signs which rotate and flash shall not be used.
- k Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8' from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- l A single structure with more than five users shall provide a unifying sign theme through a sign program.



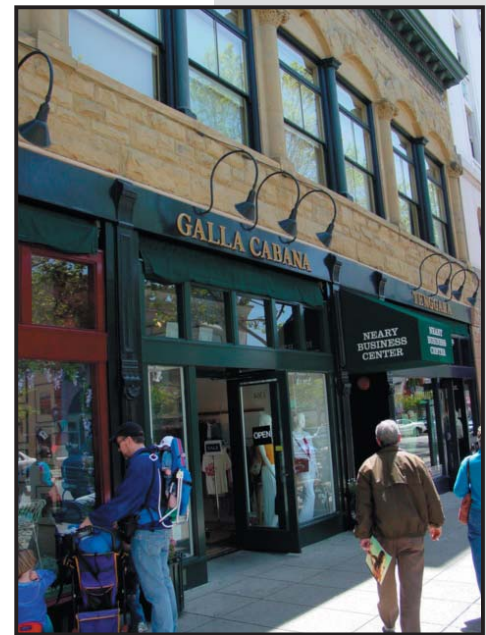
WALL SIGNS OF CONSISTENT SIZE AND PLACEMENT ESTABLISH FACADE RHYTHM.

- m Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into mixed-use residential units.
- n Signs at storefronts may include temporary window signs that do not obstruct the pedestrian views into the store. Handcrafted wall-mounted signs or individual letters may also be used. All window signage, whether permanent or temporary, is subject to the limitations set fourth in the zoning code.

11. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural and landscape details. These guidelines apply to on-site lighting for buildings, parking areas, landscaping and area lighting. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- a Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- b The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the project site.
- c Exposed bulbs shall not be used. Cut-off lighting is preferred.
- d In order to conserve energy, there shall be a standard shut-off time for illuminated signs for businesses that do not operate at night.
- e Indirect window display lighting is encouraged to create an interesting and friendly atmosphere.
- f Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.
- g Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- h Timers and sensors shall be utilized to minimize lighting and energy impacts.



LIGHT FIXTURES SHALL BE DESIGNED OR SELECTED TO BE ARCHITECTURALLY COMPATIBLE WITH THE MAIN STRUCTURE OR THEME OF THE BUILDING.



SIGNS SHALL BE ILLUMINATED EXTERNALLY WITHOUT PRODUCING GLARE ON PEDESTRIANS, AUTOS, OR MIXED-USE RESIDENTIAL UNITS.

12. Outdoor Spaces

- a Recognize the importance of spaces between structures as “outdoor rooms” on the site and along the street. Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures. Such spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- b Areas where the building is set back from the street frontage shall be designed as a plaza or courtyard.
- c Plazas and open spaces shall be designed to be welcoming and inviting to people at all hours of the day and night.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground. Passive energy benefits shall be considered.



THE ENTIRE MIXED-USE DEVELOPMENT SHALL HAVE A CONSISTENT ARCHITECTURAL STYLE AND USE OF MATERIALS. HOWEVER; IF THE INTENT IS TO DIFFERENTIATE BETWEEN USES, SOME ARCHITECTURAL DETAILS SHALL VARY SLIGHTLY.

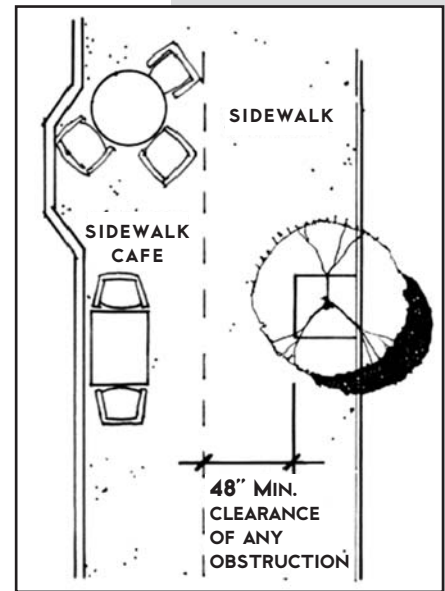
13. Mixed-use projects

- a Mixed-Use projects combine commercial, office, and/or residential uses into one single development. The uses shall be combined in multiple ways such as each use on one floor or wing of a building, or each use in completely separate buildings throughout the site. Retail is a priority use at the street level (see Zoning Ch. 2).
- b Clearly marked, separated driveways and parking areas shall be used for each proposed use.
- c When multiple uses are both proposed in the same building, they shall have separate and convenient entrances for each use.
- d Commercial uses shall attempt to shield parking lot and security lighting from impacting the surrounding residential areas.
- e The entire mixed-use building shall have a consistent architectural style and use of materials. However; if the intent is to differentiate between uses, some architectural details may vary slightly.
- f Mixed-use projects which are three stories or less in height shall use full roofs on at least 50% of the entire roof.
- g Mixed-use projects which are three stories or greater in height shall set back and stagger the upper stories to a minimum of 10 feet for each additional story above the stores.

14. Downtown Core Streetscapes

- a Any new streetscape enhancements shall be consistent with the existing streetscape elements.

- b Outdoor dining is encouraged in the Downtown Core provided that pedestrians can pass between the building and dining area.
- c Umbrellas used for outdoor dining shall be made of cloth (not metal, plastic, or vinyl) and shall be high enough so as not to inhibit pedestrians. Commercial advertising or other signage on umbrellas is prohibited.
- d Umbrellas shall be regularly maintained and kept free from tears, fading, and stains.
- e Light fixtures shall be adorned with banners or flags to announce the entrance into the Downtown Core. Welcome banners or flags announcing public events shall be used.
- f Additional street lighting shall be consistent with existing historic light fixtures
- g Planter urns and enhanced crosswalks shall be introduced at key intersections such as Marshall Street, East Main Street, and Olive Avenue in order to emphasize the entry into the Downtown Core along Golden State Blvd.
- h Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- i Traffic signal poles shall be painted a dark green to match the existing street lights until it can be replaced with a matching dark green decorative pole. Gateway intersections shall be the highest priority.



15. Sidewalk Cafes

- a Sidewalk café areas shall be screens with semi-permanent decorative screens or walls. Screens can be made of wood, plastic or metal, and shall attach to the sidewalk with recessed anchors – allowing for seasonal removal, leaving no tripping hazard in its absence.
- b Screens shall not be more than 42” tall.
- c Screens can either be solid or semi-solid. Designs shall be consistent with building façade design and/or restaurant theme.
- d Screen layout needs to enclose the entire outdoor café area, leaving required exit width accommodations for occupancy of facility.
- e Take-out establishments, where food is purchased inside the building, may have unscreened outdoor dining areas, provided that 48” of clear space is maintained at all times.



UMBRELLAS GIVE COLOR AND PROVIDE SHADE ON THIS OUTDOOR DINING AREA.



OUTDOOR DINING AREAS HELP TO GIVE LIFE TO DOWNTOWN STREETSCAPES.



OUTDOOR DINING AREAS SHALL ALLOW PEDESTRIANS TO PASS WITHOUT OBSTRUCTION.



PARKING SPACES WERE REMOVED TO ALLOW FOR AN OUTDOOR DINING AREA AND PLAZA.



GATEWAY MONUMENTS SHALL BE USED TO ANNOUNCE ENTRY INTO THE DOWNTOWN CORE

- f Tables and chairs can be of varying type, but those designed for exterior use are recommended. Tabletop sunshades, pole shades and sunscreens are recommended.
- g Layout of outdoor cafes shall allow for minimum 48” clear sidewalk right of way. Street signage, furniture, and landscaping shall not encroach in this 60” clear space.
- h Location of café is recommended to be located along building façade, however, the 48” clear space can be designed between the sidewalk café and the building façade.
- i Interior table layout of sidewalk cafes shall conform with all applicable building codes in regards to spacing, aisle width, occupancy, ADA and California Title 24 and exiting.
- j Accent lighting is highly recommended
- k Landscaping such as flower boxes are recommended to be incorporated into the design.

16. Golden State Blvd. Corridor

- a The Golden State Blvd. Corridor is considered a gateway to the downtown core, as it is one of the most heavily traveled arterials in Turlock.
- b Gateway signage and monuments shall be used along this corridor as described in the Turlock Beautification Master Plan. (See Appendix)
 - c Planter urns and enhanced crosswalks shall be introduced at key intersections such as Marshall Street, East Main Street, and Olive Avenue in order to emphasize the entry into the Downtown Core.
 - d Buildings along this corridor shall respect and complement the existing historic, agrarian, thematic, or art-deco building architectural styles.
 - e Structures shall be oriented towards Golden State Blvd.
 - f Reuse of existing materials is encouraged where possible and appropriate. When renovating historic or architecturally significant structures, materials and forms reminiscent of the existing buildings shall be used.
 - g Auxiliary structures such as trash and utility enclosures, and storage areas shall be integrated into the overall design of the building and shall not face or open onto the street
 - h Service areas shall be screened from view with portions of the buildings, architectural wing walls and/or landscape planting.
 - i Loading areas shall be designed to accommodate trucks without having to back onto Golden State Blvd.
 - j Parking lots shall be screened/buffered with a minimum 20’ landscape

screen/buffer unless for vehicle sales/rental. Street trees shall be regularly placed (30' on center).

17. Structures Adjacent to the Railroad Corridor

- a Buildings not dependent on the railroad loading access for freight or transportation purposes shall be set back a minimum of 20' from the railroad right-of-way in order to address visual and safety issues.
- b A minimum 5' landscape buffer shall be provided along the property line adjacent to the railroad right-of-way.
- c Trees, shrubs, and groundcover with decorative fencing shall be provided in the landscape buffer.
- d An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge where storage areas abut the railroad right-of-way. Dense landscaping and or decorative wall treatment shall be provided to adequately screen storage areas.
- e When walls are used to screen the railroad corridor, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- f Building facades fronting on the railroad corridor shall include architectural details, articulation, varied roofline, painted details, or murals to create an attractive appearance from surrounding areas.

3-1A DOWNTOWN CORE TRANSITION



DOWNTOWN CORE TRANSITION

DESIGN GUIDELINES

 District 1A - Downtown Core Transition

1A. Downtown Core Transition

The Downtown Core Transition District is a contrast to the historic urban feel of the Downtown Core with ample setbacks, mature trees lining the streets, and low-intensity residential and office structures. Yet, located along the East Main Corridor, this district is an important link and gateway opportunity for the Downtown Core. The Downtown Core Transition District's "residential scale" is to be preserved while creating a unifying streetscape character that ties this area to the Downtown Core. Consideration of gateway features and strengthened pedestrian orientation are priorities for this district. All new construction, reconstruction, and remodels shall be subject to these guidelines.

The following topics are discussed:

1. Site Design
2. Building Mass and Scale
3. Building Form and Roofline
4. Building Entrances
5. Building Materials and Colors
6. Windows and Doors
7. Awnings and Overhangs
8. Screening of Utilitarian Equipment and Trash Enclosures
9. Parking Lot Screening
10. Loading and Delivery
11. Disabled Accessible Ramps and Railing
12. Fire Apparatus
13. Roof Drainage
14. Mailboxes
15. Signage
16. Lighting
17. Outdoor Spaces
18. Parking and Circulation
19. Mixed-use projects
20. Corporate architecture
21. Streetscapes
22. Sidewalk Cafes

1. Site Design

- a Infill buildings and remodels in the Downtown Core Transition District shall give careful consideration to adjacent building conditions and their historic architectural features and scale. Buildings shall be sited and designed to reinforce the scale, massing and rhythm of adjacent facades.
- b Each building is encouraged to have a unique identity but shall integrate design elements from adjacent structures such as height, roof forms, window treatments, and architectural style.
- c Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties. Access for parking shall utilize the alley wherever possible.
- d Buildings shall be sited and designed to preserve the sense of “openness” in this district. Ample setbacks ensure appropriate interface between properties.
- e Buildings shall be designed to incorporate existing circulation, natural landscaping, sunlight, and shall not obstruct attractive views such as prominent landmarks, vistas, historical buildings, and the natural environment.
- f Special attention shall be given to building orientation and articulation on corner sites.
- g Focal points shall be developed or redeveloped on larger buildings to create a definite sense of identification.
- h Plazas, landscape, fountains, public art, textured pavement, and vertical building features shall be utilized to create interest, identity and a sense of place (see outdoor spaces).
- i Public art shall be incorporated into buildings and public spaces.
- j Blank walls or loading areas shall not face public streets
- k Alley ways shall be considered as valuable public spaces and be utilized for vehicle access and parking. Buildings shall incorporate window displays, landscaping, lighting, pavers, and alleys shall be clear of trash containers, and utility equipment.

2. Building Mass and Scale

- a Each building shall have a recognizable base, body, roof line and entry.
- b Massing design may include:
 - Variation in the wall plane (project and recess)
 - Variation in wall height
 - Roof located at different levels
 - Varying roof forms
- c For new buildings and renovations, building articulation with residential scale details on windows, doors, entries, roof forms, etc. shall be reflective of the existing district character.
- d Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- e New development shall express its own uniqueness of location, tenant, or structure, designed especially for the particular building site and not as a copy of a generic building type which might be used anywhere.
- f Corporate “chain” style architecture shall be avoided in the Downtown Core Transition area as it detracts from the historic and charming feel of Turlock. Corporate tenants will be required to design their buildings to fit the scale and character of the Core Transition Area.
- g Upper floors may be appropriate for varied setbacks to accommodate balconies, seating areas, and other architectural treatments.
- h Building scale can be reduced through proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- i Architectural details and materials on lower walls that relate to human scale such as trellises or awnings shall be utilized.
- j Articulated storefronts with carefully arranged doors, windows, roof overhangs, rather than blank walls shall face onto pedestrian spaces and streets.



EACH BUILDING SHALL HAVE A RECOGNIZABLE BASE, BODY, ROOF LINE AND ENTRY



DETAILS SUCH AS PARAPETS AND AWNINGS ADD FORM AND DETAIL TO BUILDINGS.

3. Building Form and Roofline

- a New buildings shall use rooflines that reflect the current historic character and context which may include the use of sloping roof forms as accents.
- b Multi-form roofs, gabled and shed roof combinations are encouraged to create an interesting and varying roof form that



PARAPETS SHALL HAVE SUFFICIENT ARTICULATION OF DETAIL SUCH AS PRECAST TREATMENTS, CONTINUOUS BANDING OR PROJECTING CORNICES, LENTILS, CAPS, CORNER DETAILS, OR VARIETY IN PITCH.



STORE FRONTAGES SHALL INCLUDE AMENITIES SUCH AS TRANSPARENT DISPLAY WINDOWS, MOVEABLE LANDSCAPED CONTAINERS AND POTS AND AWNINGS.

will lessen the mass of the building, and add visual appeal.

- c Roof materials and colors are important aspects of the overall building design and they shall be consistent with the desired architecture and shall be complementary to adjacent structures.
- d Mansard roofs are inappropriate in the Downtown Core Transition Area and shall be eliminated as buildings redevelop.
- e Where buildings are located adjacent to the sidewalk or other pedestrian space, awnings and overhangs shall be used to create comfortable walking areas for pedestrians.
- f Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.
- g Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade.
- h Parapets shall not appear “tacked on” and shall convey a sense of permanence. If the interior side of the parapet is visible from the pedestrian/motorist area of the building, it shall receive appropriate detail, and proper application of materials shall be utilized.

4. Building Entrances

- a The building entryway shall be designed as a significant aspect of the building’s overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entry ways shall be included in the design as they help to break up the building’s mass and prevent a barracks-like façade.
- c At a minimum, store frontages and entrances shall include one or more of the following features: transparent display windows, recessed or accentuated entries, pedestrian oriented signs, and high quality construction materials. Other features that could be included are public art, custom entry tiling, canopies/awnings, outdoor dining areas, and movable landscaped containers and pots.
- d Upper floor entries at the street frontage shall have their own distinct design that complements the main building frontage and shall not appear tacked on to the exterior of the building.

5. Building Materials and Colors

- a Where appropriate, “green materials” such as recycled wood, non-toxic paint, and low voltage lighting shall be used provided that they fit the historic character and style of the Downtown Core Transition District.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Different parts of a building’s façade shall be articulated by use of color, arrangement of façade elements, changes in materials, or other features.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the buildings color palette shall be used at the base of the building in order to “ground” the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- g Buildings shall keep a balanced color palette between base wall colors and “brighter” or “darker” accent colors on each building.
- h Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- i Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.
- j Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone.



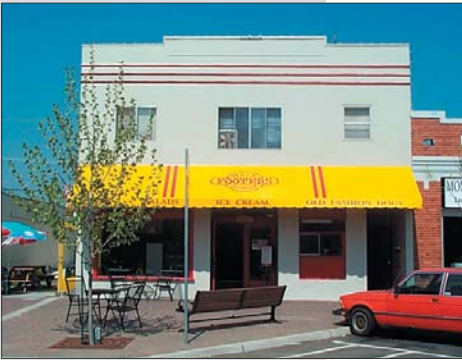
DETAILS SUCH AS WALL SURFACES CONSTRUCTED WITH PATTERNS, CHANGES IN MATERIALS, BUILDING POP-OUTS, COLUMNS, OR RECESSED AREA TO CREATE SHADOW PATTERNS AND DEPTH ON THE WALL SURFACES SHALL BE USED

6. Windows & Doors

- a Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale.
- b Windows shall be located to maximize daylighting and views.
- c Skylights, roof monitors, or light wells shall be used to add daylight to upper floors.
- d At the street level, windows shall be treated with detail on elements such as awnings, awning supports, framing and base colors and materials and glazing (mullions, sand blasting, etc.)



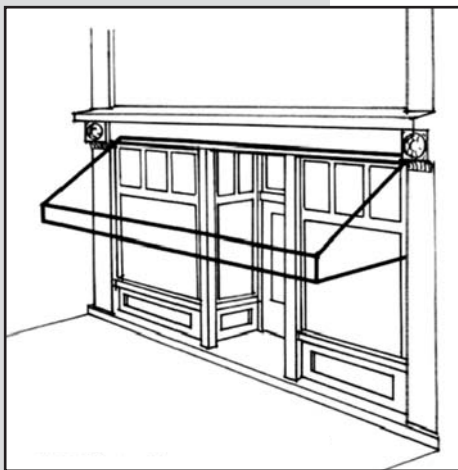
ATTENTION TO DETAIL AT WINDOWS INCLUDES AWNINGS, AWNING SUPPORT, BASE MATERIAL AND COLORS AND LIGHTING; ALL OF WHICH ENHANCE THE PEDESTRIAN SCALE.



AWNINGS SHALL ADD COLOR, FORMS, RELIEF, AND PEDESTRIAN PROTECTION FROM THE ELEMENTS. THEY MAY ALSO BE USED FOR BUSINESS IDENTIFICATION SIGNAGE.



AWNINGS SHALL BE PLACED WITHIN VERTICAL ELEMENTS WHEN THE FACADE OF THE BUILDING IS DIVIDED INTO DISTINCT STRUCTURAL BAYS.



AWNINGS ADD PEDESTRIAN COMFORT.

to strengthen the pedestrian scale of buildings.

- e Recessed openings, windows and doors provide depth and help break up the apparent mass of a large wall. Symmetry and proportionality of openings on a building or series of buildings will reinforce rhythm and scale.
- f Windows may be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, stone, or raised wood panels.
- g Windows on upper floors shall reinforce the typical rhythm of upper story windows found on traditional commercial buildings.
- h Operable windows shall be used to provide natural air circulation and allow interchange between indoor and outdoor spaces.
- i Window type, material, shape, and proportion shall complement the architectural style of the building entry.
- j Windows and doors shall be designed as accent elements with details such as lentils, awnings, moldings, and lights.

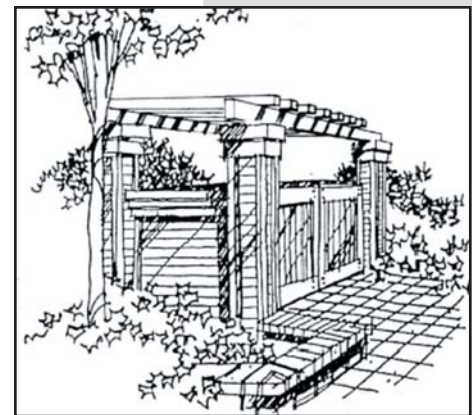
7. Awnings and Overhangs

- a Awnings shall add color, forms, relief, and pedestrian protection from the elements. They may also be used for business identification signage.
- b When adding an awning to an existing historic building, the awning or overhang shall match the architectural character of the facade. This applies to new developments as well.
- c Awnings shall help to clearly demarcate the buildings entries and help orient pedestrians and motorists.
- d Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace and maintain the awnings.
- e Awnings shall be regularly maintained and kept free from tears, fading, and stains.
- f Awnings shall be made of cloth (not plastic, metal, or vinyl) and shall be high enough so as not to inhibit pedestrians.
- g Awnings shall not be wrapped around buildings in continuous bands. Awnings shall only be placed on top of doors, windows, and other openings where arcades are not otherwise utilized.
- h Awnings shall not dominate the façade but rather be in scale with the rest of the building.
- i Walls that could potentially have long awnings expanding the entire length shall have awnings that

- are broken into smaller segments.
- j Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.
- k Awnings shall be placed within vertical elements when the façade of a building is divided into distinct structural bays.
- l Overhangs shall incorporate a fabric, metal, or other detail that coordinates with other architectural features on the building.
- m Buildings with existing overhangs shall be remodeled to include strong attention to detail on such things as the fascia and overhand support brackets.
- n The color of awnings and overhangs shall be integrated into the overall color scheme of the project.
- o Awnings and overhangs shall not be placed so that they would vertically split a window in half.

8. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- c Utility lines from the service drop to the site shall be underground.
- d Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.
- e Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- f Where feasible, electrical power lines and other mechanical equipment shall be placed underground to maximize safety and minimize visual distraction.
- g New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- h All new on-site connections and utilities shall be installed underground
- i Trash/Recycling enclosures shall be designed to be consistent with the style of building architecture. This is best accomplished through the use of the same materials and colors. Trash receptacles located in or near public parking areas shall meet City design standards.



TRASH ENCLOSURES SHALL BE SCREENED WITH A COMBINATION OF ELEMENTS SUCH AS DECORATIVE ENCLOSURES AND LANDSCAPING.



TRASH ENCLOSURES SHALL BE DESIGNED WITH MATERIALS AND COLORS THAT ARE CONSISTENT WITH THE ADJACENT STRUCTURE.

- j In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design where feasible as an additional screen.
- k A separate pedestrian entrance shall be incorporated into the trash enclosure design so large, awkward access gates do not have to be opened as often.
- l Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site. Where feasible, shared facilities shall be provided.

9.

Parking Lot Screening

- a Screening at the periphery of all parking lots visible from the street shall be provided.
- b A 36” to 42” high berm, headlight hedge, or masonry wall shall be provided to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- c Walls shall be finished and designed to complement surrounding buildings.
- d When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation, and the walls shall be low enough for safety and security purposes.

10.

Loading and Delivery

- a Loading areas shall be generally located in the rear of the site where they can be screened from view.
- b Where loading areas cannot be located in the rear of the building, special temporary parking zones shall be defined to allow for quick and easy delivery of goods.
- c Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles for convenient access by each tenant and located to minimize circulation conflicts with other site uses.

11.

Disabled-Accessible Ramps and Railing

- a Guardrails shall complement the architectural style of the building.
- b Ramps shall be integrated into the site design creating functional or unique spaces.

12.

Fire Apparatus

- a Consideration shall be given to the design of new and

remodeled structures to incorporate easy access to fire apparatuses which shall be installed per the City and County Requirements.

- b Access for fire apparatus shall be part of the planning process so as not to disrupt the visual integrity of a project.

13. Roof Drainage

- a Roof scuppers (a device placed in an opening in the wall or parapet which allows water to drain from a roof, and prevents clogging of the drain) shall not be used in areas that are visible to the street or public spaces unless they are integrated into the overall building design and water run-off is managed properly.

14. Mailboxes

- a When required, common box mailbox enclosures shall be designed similar in form, materials, and color to the surrounding buildings.
- b Mailboxes shall be located in alcoves away from the streetscape or inside the building.

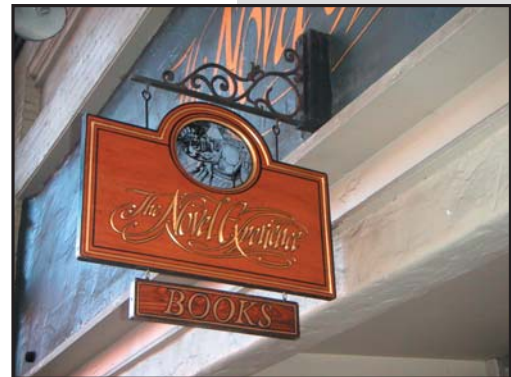
15. Signage

Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown Core and streetscape, especially the more unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter.

- a The sign regulations and guidelines are stated in 9-2-500ART. in the City’s Zoning Ordinance and shall be adhered to at all times. Adherence to this document, Chapters 2 and 3, is also required.
- b Signs shall coordinate with the building design, materials, color, size, and placement.
- c Signs reflecting the type of business through design, shape, or graphic form shall be used.
- d The method of sign attachment to the building shall be integrated into the overall sign and buildings design.
- e Signs shall not cover up windows or important architectural features and shall be integrated into the building facade.
- f Sign variety is encouraged among different users.
- g Flush mounted signs shall be positioned within architectural features, such as the window/panel above the storefront or flanking the doorways.
- h Flush mounted “auto oriented” signs shall align with others on the building so as to maintain the existing pattern.



SIGNS WITH UNIQUE STYLE AND FONTS ARE ENCOURAGED AMONG DIFFERENT USERS.



PEDESTRIAN ORIENTED SIGNS ADD CHARACTER TO THE STREET.

- i Signs shall be externally illuminated with concealed or architecturally treated indirect lighting.
- j Hanging signs or shingle signs (“pedestrian oriented”) attached to buildings that project perpendicular to the building shall be a minimum of 8’ from ground level to the bottom of the sign. Signs that project shall be small and ornate and reflect the use of the business by incorporating symbols or logos of the business.
- k A single building with more than one user shall provide a unifying sign theme through a master signage plan (see City Zoning 9-2-504 (b)(1)).
- l Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into mixed-use residential units.
- m Signs at storefronts may include temporary window signs that do not obstruct the pedestrian views into the store. Handcrafted wall-mounted signs or individual letters may also be used. All window signage, whether permanent or temporary, is subject to the limitations set fourth in the zoning code (9-2-500ART).
- n Detached signage shall be limited to one per site and shall be monument style not to exceed six feet in height.



GOOSE-NECK STYLE LIGHTING IS AN ATTRACTIVE WAY TO LIGHT SIGNAGE.

16. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing a building’s architectural and landscape details. These guidelines apply to private on-site lighting in parking areas and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- a Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- b Additional street lighting shall be consistent with existing light fixtures
- c The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the project site.
- d Exposed bulbs shall not be used. Cut-off lighting is preferred.
- e Indirect window display lighting is encouraged to create an interesting and friendly atmosphere.
- f Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.



LIGHTING OF PEDESTRIAN AREAS PROVIDES A SAFE ENVIRONMENT. FIXTURES SHALL BE CONSISTENT WITH ARCHITECTURAL CHARACTER.

- g Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- h In order to conserve energy, timers and sensors shall be incorporated to avoid unnecessary lighting.
- i Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- j Traffic signal poles shall be painted a dark green to match the existing street lights until it can be replaced with a matching dark green decorative pole.

17. Outdoor Spaces

- a Recognize the importance of spaces between structures as “outdoor rooms” on the site. Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures. Such spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- b Areas where the building is set back from the street frontage shall be designed as a plaza or courtyard.
- c Plazas and open spaces shall be designed to be welcoming and inviting to people at all hours of the day and night.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground to ensure comfort for pedestrians.

18. Parking and Circulation

This section is intended to ensure that parking lot designs are attractive and functional, while at the same time meet parking regulations.

- a Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide reciprocal access points which are coordinated with other properties.
- b The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings and away from the street when possible.
- c Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.
- d Parking lots on corner sites shall not be placed adjacent to the street edge.
- e Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts where possible.
- f Where parking abuts street edge, a minimum 5’ wide landscape buffer shall be provided with shrubbery that will screen parking to 36” in



WHERE PARKING ABUTS STREET EDGE, A LANDSCAPE BUFFER SHALL BE PROVIDED.



MIXED USE BUILDINGS BRING A NEW VITALITY TO DOWNTOWN WITH GROUND FLOOR RETAIL/OFFICE AND RESIDENTIAL ABOVE.

- height and street trees planted at regular intervals (30' o.c.)
- g Parking lots shall provide areas for bicycle and motorcycle parking.
- h Reciprocal access shall be provided so that vehicles are not required to enter the street in order to move from one area to another on the same site.

19. Mixed-Use Projects

- a Mixed-use projects combine commercial, office, and/or residential uses into one single development. The uses shall be combined in multiple ways such as each use on one floor or wing of a building, or each use in completely separate buildings throughout the site.
- b Combination of uses shall include:
 - Retail on ground floor with office/residential above;
 - Retail on street side frontage; office/residential in rear; or,
 - Office on ground floor or street side and residential above or behind.
- c When multiple uses are both proposed in the same building, they shall have separate and convenient entrances for each use.
- d Security gates and fencing shall be used for the residential access into a mixed-use building.
- e Commercial uses shall attempt to shield parking lot and security lighting from impacting the surrounding residential areas.
- f The entire mixed-use building shall have a consistent architectural style and use of materials. However; when the intent is to differentiate between uses, architectural details (i.e. materials, color, etc.) may vary.
- g Mixed-use projects which are three stories or less in height shall use full roofs on at least 50% of the entire roof.
- h Mixed-use projects which are three stories or greater in height shall set back and stagger the upper stories to a minimum of 10 feet for each story above the second floor.
- i Mixed-use projects shall only use a minimal amount of commercial signage at ground level for pedestrian

orientation and only place signs where they are most appropriate.

20. Corporate Architecture

- a The use of corporate “chain” architecture detracts from the unique character of the community and is strongly discouraged. Corporate tenants shall design their buildings to fit the scale and character of the community that it is proposed within. Corporate signage shall not dominate the building facade.
- b Buildings shall be oriented onto the street and include pedestrian friendly features such as awnings, display windows, and landscaping.
- c Parking areas shall be located at the rear of the building. Only 25% of the total parking spaces shall be located on the side of the building.
- d Drive-thru/up building configurations shall not be located in the Downtown Core Transitional District.
- e Roof forms help to establish the architectural style of the building. Corporate roof forms shall respect the historic character of Turlock by using well articulated parapets
- f The building color and materials shall complement adjacent structures.
- g Attached signage is encouraged. Detached or freestanding signs shall be considered if contained within a low profile structure, consistent with building design and shall be externally lighted (see Zoning Ordinance 9-2-500).
- h Columns supporting a structure shall be of sufficient thickness to emphasize a sense of strength, balance, and traditional masonry proportions. The columns shall also include a cap and a base. The base shall be the darkest exterior material and shall be furred out three to four inches to enhance and anchor the structure.
- i Service bays shall not be designed to face on to the street.



CORPORATE ARCHITECTURE SHALL INCORPORATE MATERIALS THAT COMPLEMENT ADJACENT STRUCTURES.

21. Streetscapes

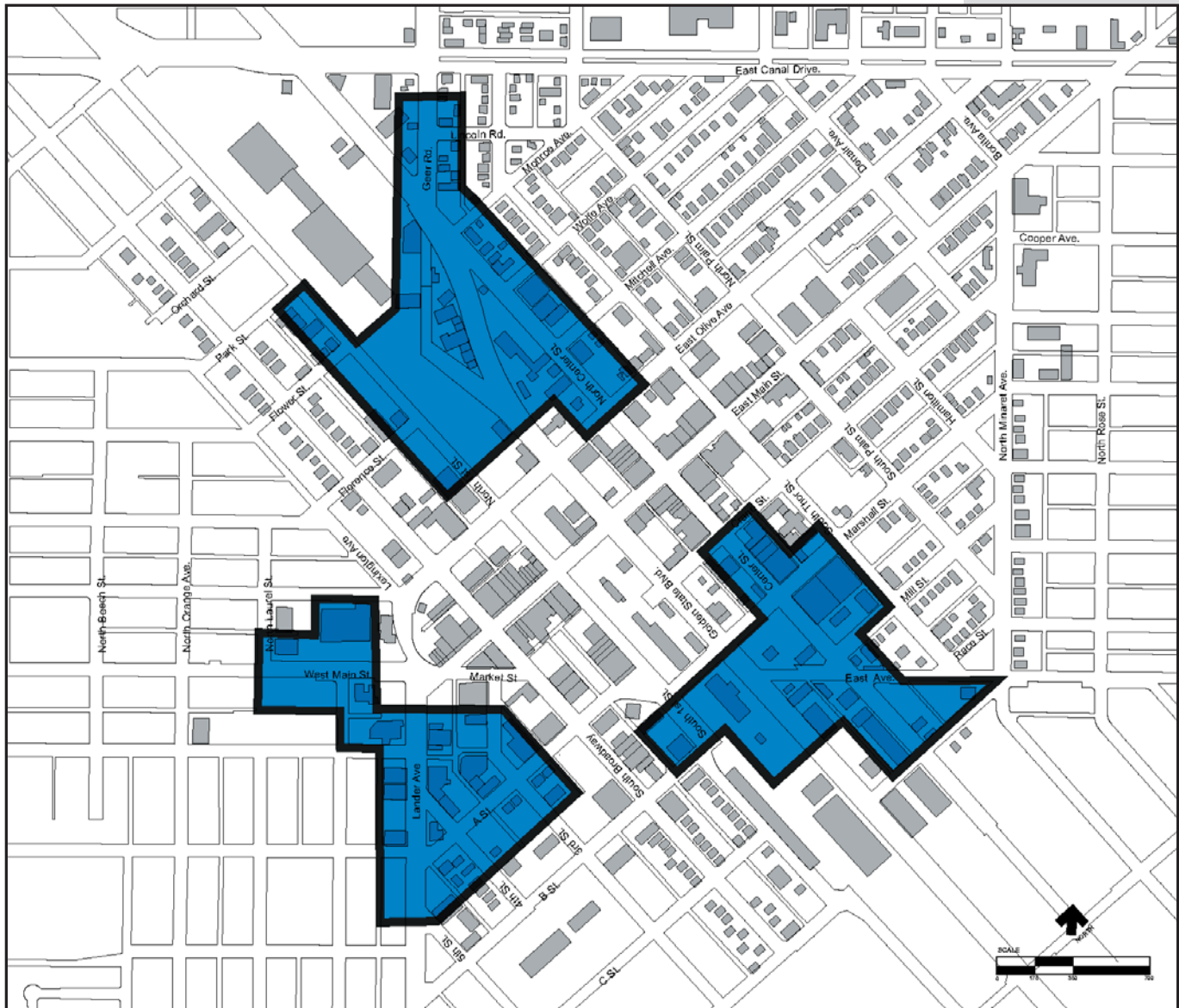
- a Lighting fixtures shall be consistent with the style currently used in the Downtown Core.
- b Lighting fixtures shall have only one fixture instead of two in order to distinguish the Downtown Core Transition district from the Downtown Core.
- c Light fixtures shall be adorned with banners or flags to announce the entrance into the Downtown Core. Welcome banners or flags announcing public events shall be used.
- d Pavers shall be consistent with the ones used in the Downtown Core and shall only be used on sidewalk corners, as accent trim, and/or crosswalks.

- e Sidewalks shall be five feet (5') wide in order to accommodate pedestrians and separated from the street edge by a planting strip.
- f A minimum four foot (4') planting strip shall be installed with the development of new buildings if it is consistent with the existing environment.
- g Street furnishings (benches, bike racks, trash cans, and planting containers) shall remain consistent with the existing furnishings in the Downtown Core.
- h Tree species and grates shall remain consistent with those used in the Downtown Core.
- i Street signs shall be consistent with those used in the Downtown Core

22. **Sidewalk Cafes**

- a Sidewalk café areas shall be screens with semi-permanent decorative screens or walls. Screens can be made of wood, plastic or metal, and shall attach to the sidewalk with recessed anchors – allowing for seasonal removal, leaving no tripping hazard in its absence.
- b Screens shall not be more than 42” tall.
- c Screens can either be solid or semi-solid. Designs shall be consistent with building façade design and/or restaurant theme.
- d Screen layout needs to enclose the entire outdoor café area, leaving required exit width accommodations for occupancy of facility.
- e Take-out establishments, where food is purchased inside the building, may have unscreened outdoor dining areas, provided that 48” of clear space is maintained at all times.
- f Tables and chairs can be of varying type, but those designed for exterior use are recommended. Tabletop sunshades, pole shades and sunscreens are recommended.
- g Layout of outdoor cafes shall allow for minimum 48” clear sidewalk right of way. Street signage, furniture, and landscaping shall not encroach in this 60” clear space.
- h Location of café is recommended to be located along building façade, however, the 48” clear space can be designed between the sidewalk café and the building façade.
- i Interior table layout of sidewalk cafes shall conform with all applicable building codes in regards to spacing, aisle width, occupancy, ADA and California Title 24 and exiting.
- j Accent lighting is highly recommended
- k Landscaping such as flower boxes are recommended to be incorporated into the design.

3-2 TRANSITIONAL COMMERCIAL



TRANSITIONAL COMMERCIAL

DESIGN GUIDELINES

 District 2 - Transitional Commercial

2 - Transitional Commercial

The Transitional Commercial areas lay north, south, and west of the Downtown Core. These areas contain office and commercial buildings that cater to the auto-oriented consumer. These areas also serve as the main gateways into the downtown core and therefore shall be designed to give one a good first impression of the downtown area. This can be accomplished by incorporating gateway signage and landscaping, providing a unified streetscape design, regulating signage, and screening parking.

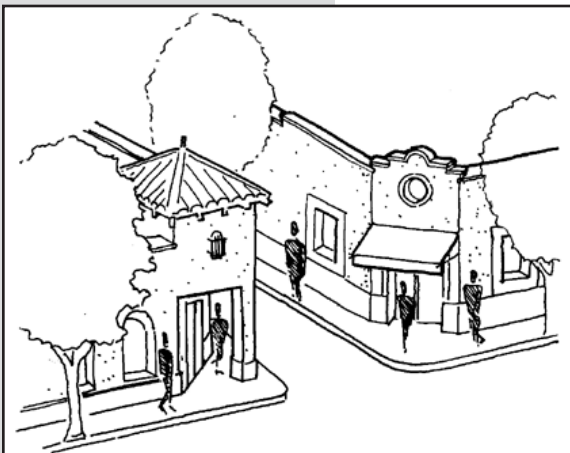
It is recognized that the Transitional Commercial area includes a blend of architectural building styles from historic buildings to small shopping centers and low-intensity commercial space. The intent for this district is to allow the continuation of the eclectic styles of buildings while enhancing the overall aesthetic character of the area and improving the pedestrian environment throughout the area. The following guidelines are set fourth to provide a framework of design solutions with the intent to preserve and enhance the charming character of the Downtown Core and to enhance the aesthetic appearance of the streetscape and commercial buildings and centers in this district. Additionally, any addition, remodeling, relocation or construction requiring a building permit within this district shall adhere to these guidelines where applicable.

The guidelines are grouped into the following categories:

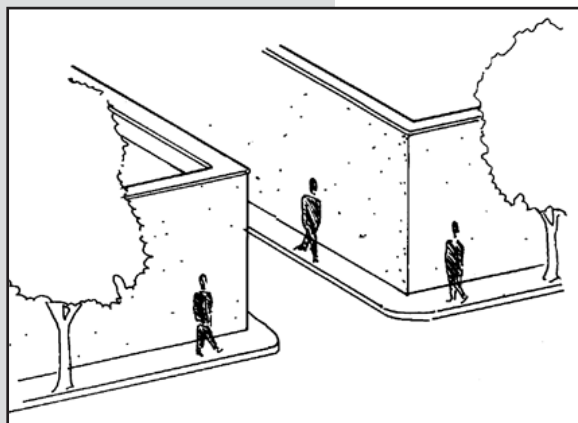
1. Site Design
2. Sides and Backs of Buildings
3. Building Mass and Scale
4. Building Form and Roofline
5. Building Entrances
6. Building Materials and Colors
7. Windows and Doors
8. Awnings and Overhangs
9. Screening of Utilitarian Equipment and Trash Enclosures
10. Loading and Delivery
11. Disabled Accessible Ramps and Railing
12. Roof Drainage
13. Mailboxes
14. Signage
15. Lighting
16. Parking and Circulation
17. Parking Lot Screening
18. Parking Lot Area Planting
19. Outdoor Spaces
20. Sidewalk Cafes
21. Streetscapes
22. Corporate Architecture
23. Golden State Blvd. Corridor
24. The Railroad Corridor



SPECIAL ATTENTION SHALL BE GIVEN TO BUILDING ORIENTATION AND ARTICULATION ON CORNER SITES.



RECOMMENDED CORNER BUILDING TREATMENT.



NOT RECOMMENDED CORNER BUILDING TREATMENT.

1. Site Design

- a Infill buildings and remodels in the Transitional Commercial district shall give careful consideration to adjacent building conditions and their historic architectural features and scale. Buildings shall be sited and designed to reinforce the scale, massing and rhythm of adjacent facades.
- b Each building is encouraged to have a unique identity but shall integrate design elements from adjacent structures such as height, roof forms, window treatments, and architectural style.
- c Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- d Buildings shall be sited and designed so that there are no barriers or other elements emphasizing property boundaries. Care shall be taken when addressing the interface between two or more properties. Property lines shall not be treated as walls and or barriers.
- e Special attention shall be given to building orientation and articulation on corner sites especially at gateway intersections (see Gateways section in the introduction). Prominent architectural features such as clock towers, marquees, and building entries shall be located at and oriented to the property's corners and intersections.
- f All new infill buildings except shopping centers shall be designed so at least 75% of the buildings frontage is commercial storefront.
- g Blank walls or loading areas shall not face public streets
- h Focal points such as towers, marquees and porticos shall be included on large buildings to create a definite sense of identification. Plazas, landscape, fountains, public art, textured pavement, and vertical building features shall be combined to create focal points and identity.
- i Public art shall be incorporated into buildings and public spaces.
- j Spaces in commercial buildings shall be designed so that they can be leased to more than one tenant.
- k Commercial buildings shall be designed to have 360 degree architecture. In other words, all four building elevations shall be architecturally articulated.

2. Sides and Backs of Buildings

- a Murals, trellises, or vines and espaliers shall be placed on large expanses of walls at the rear or sides of buildings to soften the wall plane and create interest.
- b Architecturally compatible wall mounted lighting shall be provided between buildings to ensure security.
- c Restaurants and cafes shall use sides of buildings for outdoor seating.

3. Building Mass and Scale

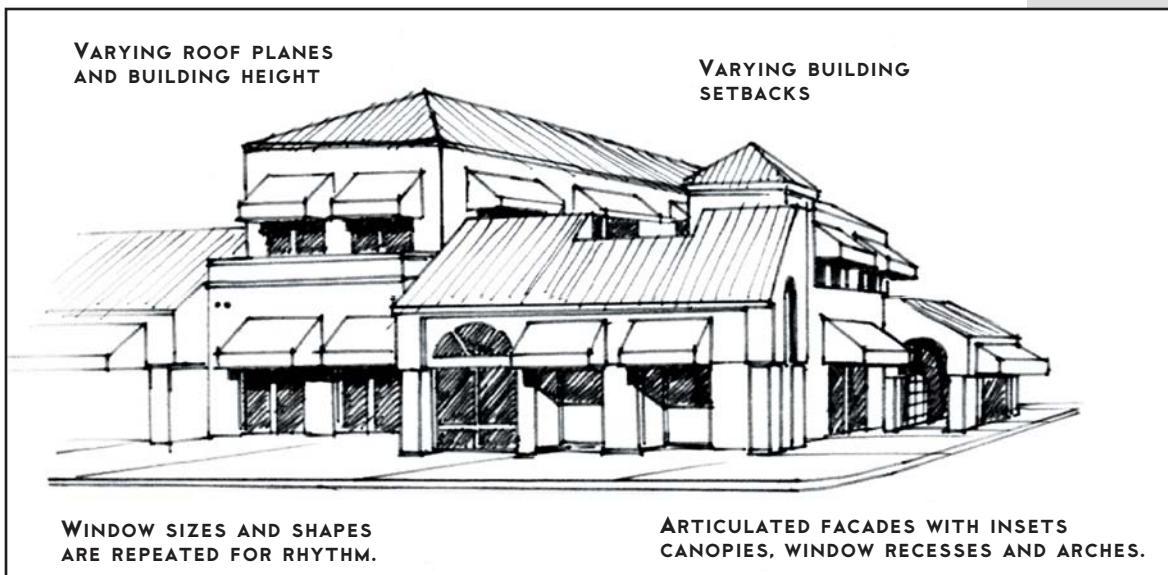
- a Each building shall have a recognizable base, body, roof line and entry.
- b Massing design may include:
 - o Variation in the wall plane (project and recess)
 - o Variation in wall height
 - o Roof located at different levels
- c Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not extend more than 30 feet horizontally without a significant variation in wall plane.
- d Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- e New buildings shall express their own uniqueness of location, tenant, or structure, designed especially for the particular building site and not as a copy of a generic building type which might be used anywhere.

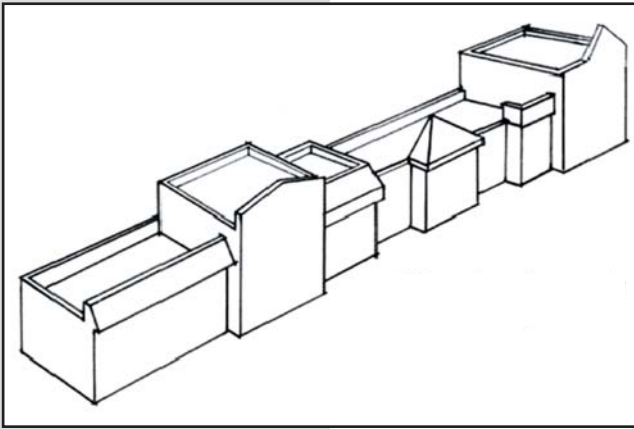


SIDES OF BUILDINGS AND ALLEYWAYS SHALL BE INVITING AND PEDESTRIAN FRIENDLY.



THE SCALE OF THIS LARGE BUILDING HAS BEEN REDUCED BY PROJECTING SMALLER WALL PLANES.





ARTICULATION OF ROOF LINES AND STYLES REDUCE THE MASS OF LARGE, LINEAR RETAIL BUILDINGS.



ROOF LINES SHALL REFLECT AGRARIAN STYLE ARCHITECTURE.



DESIGN ELEMENTS SUCH AS PARAPETS AND CORNER TOWERS SHALL BE USED TO ESTABLISH BUILDING IDENTITY AND CREATE A SENSE OF PLACE.

- f Corporate “chain” style architecture shall fit the scale and character of Turlock (see Corporate Architecture section).
- g Building scale shall be reduced through proper use of window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- h Architectural details and materials on lower walls that relate to human scale such as trellises or awnings shall be utilized.
- i Articulated storefronts with carefully arranged doors, windows, roof overhangs, rather than blank walls shall face onto pedestrian spaces and streets.

4. Building Form and Roofline

- a New buildings shall use rooflines that reflect the current historic character and may use sloping roof forms as accents.
- b Multi-form roofs, gabled and shed roof combinations are encouraged to create an interesting and varying roof form that will lessen the mass of the building, and add visual appeal.
- c Roof materials and colors are important aspects of the overall building design. They shall be consistent with the desired architecture and complementary to adjacent structures.
- d Mansard roofs are inappropriate in the Transitional Commercial District and shall be eliminated as buildings redevelop.
- e Parapets shall be used, when sufficiently detailed, to screen roof mounted equipment and provide a contrast to gabled or pitched roofs.
 - f Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.
 - g Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building façade.

- h Parapets shall not appear “tacked on” and shall convey a sense of permanence. If the interior side of the parapet is visible from the pedestrian/motorist area of the building, it shall receive appropriate detail, and proper application of materials shall be utilized.

5. Building Entrances

- a The building entryway shall be designed as a significant aspect of the building’s overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entryways shall be included in the design as they help to break up the building’s mass.

6. Building Materials and Colors

- a Where appropriate, “green materials” such as non-toxic paints, recycled wood, and low-voltage lighting fixtures shall be used provided that they are compatible with the adjoining buildings character and style of Downtown Turlock.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Different parts of a building’s façade shall be articulated by use of color, arrangement of façade elements, changes in materials, or other features.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the building’s color palette shall be used at the base of the building in order to “ground” the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- g Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- h Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest



DETAILS SUCH AS WALL SURFACES CONSTRUCTED WITH PATTERNS, CHANGES IN MATERIALS, BUILDING POP-OUTS, COLUMNS, OR RECESSED AREAS TO CREATE SHADOW PATTERNS AND DEPTH ON THE WALL SURFACES SHALL BE USED.



COLORS SHALL COORDINATE WITH NATURAL/UNPAINTED MATERIALS USED ON THE FACADES SUCH AS RIVER ROCK, PRESSURE TREATED WOOD, TILE, BRICK, AND STONE.



DETAILS SUCH AS COLOR VARIATION, WOOD, ROCK, OR BRICK ACCENTS SHALL WRAP AROUND THE PLANE 4' (OR UNTIL THE NEXT WALL PLANE IS REACHED).



WINDOWS SHALL BE COMBINED WITH WALL PLANTERS AT THEIR BASE.



AWNINGS ADD COLOR, FORM, RELIEF, AND PEDESTRIAN PROTECTION FROM THE ELEMENTS.



FACADES THAT COULD POTENTIALLY HAVE LONG AWNINGS EXPANDING THE ENTIRE LENGTH SHALL HAVE AWNINGS THAT ARE BROKEN INTO SMALLER SEGMENTS.

and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.

- i Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone.
- j Details such as color variation, wood, rock, or brick accents shall wrap around the plane 2' (or until the next wall plane is reached) so as not to appear tacked on.

7. Windows & Doors

- a Well-designed storefronts, including windows, doors, wall composition, colors, and materials are very important to create a sense of entry and pedestrian scale.
- b Windows shall be located to maximize daylighting and views.
- c Skylights, roof monitors, or light wells shall be used to add daylight to upper floors.
- d At the street level, windows shall have pedestrian scale and detail. The framing provides opportunity for color variation and detail.
- e Storefront windows and doors shall be of the same style. The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.

f Recessed openings, windows and doors provide depth and can help break up the apparent mass of a large wall and shall be used.

g Windows shall be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, rock, or raised wood panels.

h Window type, material, shape, and proportion shall complement the architectural style of the building entry.

i Retail storefronts with display windows shall be used within the creatively designed façade. Large expanse of glass, glass curtain walls, or glass buildings are not appropriate.

8. Awnings and Overhangs

a Awnings add color, forms, relief, and pedestrian protection from the elements. They may also create a space for identification signage.

b When adding an awning to an existing building, the awning or overhang shall match the architectural character of the facade. This applies to new buildings as well.

c Awnings shall help to clearly demarcate the buildings entries and help orient pedestrians and motorists.

- d Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace and maintain the awnings.
- e Awnings shall be regularly maintained and kept free from tears, fading, and stains.
- f Awnings shall be made of cloth (not plastic, metal, or vinyl) and shall be high enough so as not to inhibit pedestrians.
- g Awnings shall not be wrapped around buildings in continuous bands. Awnings shall only be placed on top of doors, windows, and other openings where arcades are not otherwise utilized.
- h Awnings shall not dominate the façade but rather be in scale with the rest of the building.
- i Facades that could potentially have long awnings expanding the entire length shall proportionately segment the awnings into smaller segments.
- j Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.
- k Awnings shall be placed within vertical elements when the façade of a building is divided into distinct structural bays.



THE COLOR OF AWNINGS AND OVERHANGS SHALL BE INTEGRATED INTO THE OVERALL COLOR SCHEME OF THE PROJECT.



AWNINGS SHALL NOT DOMINATE THE FACADE BUT RATHER BE IN SCALE WITH THE REST OF THE BUILDING.

9. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- c Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.
- d Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- e Where feasible, electrical power lines and other mechanical equipment



AWNINGS SHALL BE MADE OF CLOTH AND BE PLACED HIGH ENOUGH SO AS NOT TO INHIBIT PEDESTRIANS.



SIMILAR OF THE SAME BUILDING MATERIALS SHALL BE USED ON THE ENCLOSURE AS THE BUILDINGS

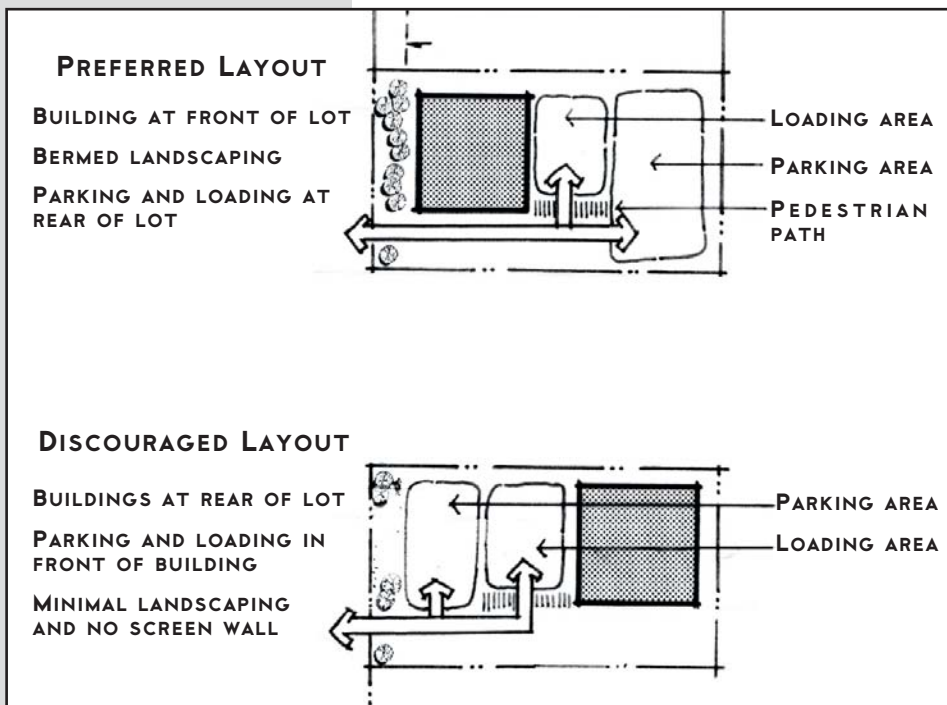


TRASH/RECYCLING ENCLOSURES SHALL BE DESIGNED TO BE CONSISTENT WITH THE DESIGN OF THE PROJECT AND BUILDING ARCHITECTURE.

- shall be placed underground to maximize safety and minimize visual distraction.
- f New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- g All new on-site connections and utilities shall be installed underground
- h Trash/Recycling enclosures shall be designed to be consistent with the design of the building and building architecture. Similar or the same building materials shall be used on the enclosure as the buildings.
- i In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design as an additional screen.
- j A separate pedestrian entrance shall be incorporated into the trash enclosure design.
- k Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site. Where feasible, shared facilities shall be provided.

10. Loading and Delivery

- a Loading areas shall be generally located in the rear of the site where they can be screened from view.
- b Where loading areas cannot be located in the rear of the building, special temporary parking zones shall be defined to allow for quick and easy delivery of goods.
- c Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles, for convenient access by each tenant and located to minimize circulation conflicts with other site uses.
- d Service and loading areas shall be designed as to not disrupt nearby residential neighborhoods.



11. Disabled-Accessible Ramps and Railing

- a Guardrails shall complement the architectural style of the building.
- b Ramps shall be integrated into the site design creating functional or unique spaces.

12. Roof Drainage

- a Roof scuppers (a device placed in an opening in the wall or parapet which allows water to drain from a roof, and prevents clogging of the drain) shall not be used in areas that are visible to the street or public spaces unless they are integrated into the overall building design.

13. Mailboxes

- a Common box mailbox enclosure shall be designed similar in form, materials, and color to the surrounding buildings.
- b Mailboxes shall be located in alcoves away from the streetscape.

14. Signage

- a Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown Area and streetscape, especially the more unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter.
- b The sign regulations and guidelines are stated in 9-2-500ART. in the City's Zoning Ordinance and shall be adhered to at all times.
- c Signs shall coordinate with the building design, materials, color, size, and placement.
- d Signs reflecting the type of business through design, shape, or graphic form shall be used.
- e The method of sign attachment to the building shall be integrated into the overall sign design chosen.
- f Signs shall not cover up windows or important architectural features.
- g Sign variety is encouraged among different users.
- h Flush mounted signs shall be positioned within architectural features,



MONUMENT SIGNS SHALL REFLECT THE ARCHITECTURAL CHARACTER OF THE BUILDING



CORPORATE TENNANTS SHALL ADAPT THEIR MONUMENT SIGNS TO FIT THE CHARACTER OF DOWNTOWN.



SIGNAGE CAN BE AN ATTRACTIVE FEATURE OF A BUILDINGS ENTRANCE.



CUSTOM SIGNAGE REFLECTING THE LOGO OR ICON OF THE BUSINESS IS ENCOURAGED.



LIGHT FIXTURES SHALL BE DESIGNED OR SELECTED TO BE ARCHITECTURALLY COMPATIBLE WITH THE MAIN STRUCTURE OR BUILDING.



PROJECTING LIGHTS HELP TO INDIRECTLY LIGHT THE BUILDING SIGN.



LIGHTS HELP TO DRAW VERTICAL ATTENTION TO A BUILDING.

such as the window/panel above the storefront or flanking the doorways.

- i Flush mounted signs shall align with others in the “center” so as to maintain the existing pattern.
- j Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8’ from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- k A single building with more than five users shall provide a unifying sign theme through a master signage plan.

- l Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into adjacent properties.

15. Lighting

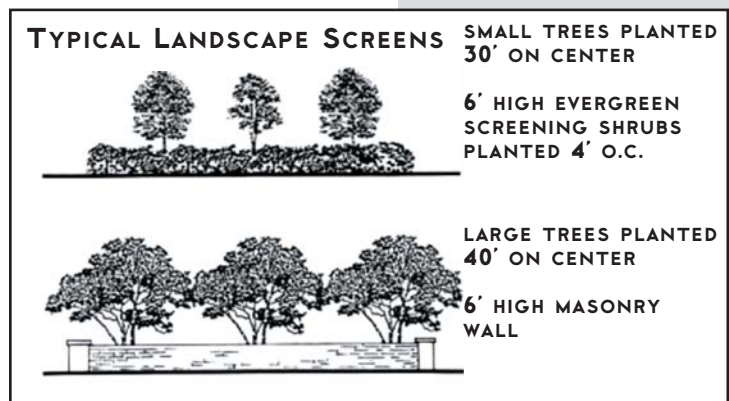
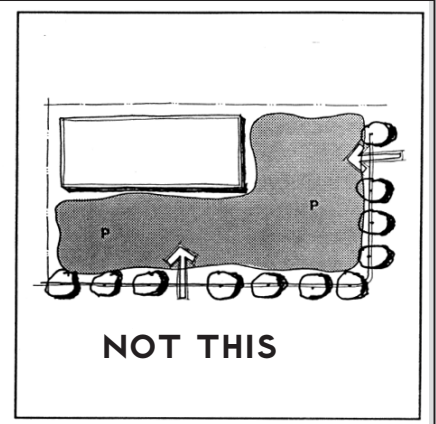
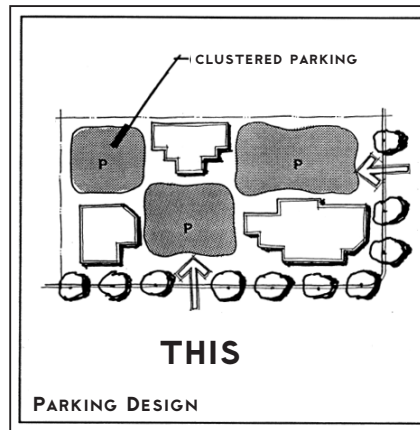
- a Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to private on-site lighting, parking areas, and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.
- b Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- c Additional street lighting shall be consistent with existing City street light fixtures. Double luminaries shall be used along major thoroughfares, single luminaries are to be used elsewhere.
- d The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the building site.
- e Exposed bulbs shall not be used. Cut-off lighting is preferred.
- f Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.
- g Landscape lighting shall be used to accent walkways and entries and/or seating areas and

specimen plants/trees.

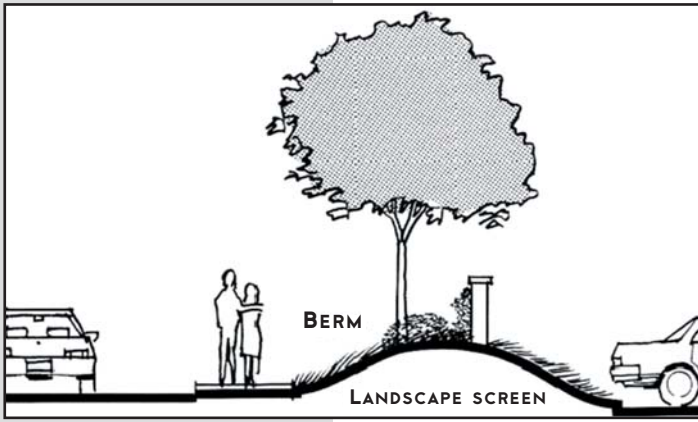
- h To conserve energy, timers and sensors shall be incorporated to avoid unnecessary lighting.
- i Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.

16. Parking and Circulation

- a This section is intended to ensure that parking lot designs are attractive and functional, while meeting parking regulations.
- b Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide reciprocal access points which are coordinated with other properties.
- c The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings at the front of the property and away from the street when possible.
- d Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.
- e Parking lots on corner sites shall not be placed adjacent to the street edge.
- f Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts where possible.
- g Parking lots shall provide areas for bicycle and motorcycle parking.
- h Reciprocal access easements shall be obtained where possible to minimize ingress/egress along street frontage.
- i The traffic generated from parking lots shall not disturb local residential neighborhoods.
- j Parking areas shall be designed so that cars and pedestrians are separated. The need for pedestrians to cross parking aisles shall be minimized. Landscape island walkways shall be used to connect parking and building entries.
- k Access between transit/bus stops to building entrances shall be clearly defined.



LANDSCAPED ISLANDS MAKE PARKING LOTS MORE ATTRACTIVE.



- l The on-site pedestrian circulation system shall be directly connected to off-site public sidewalks.
- m Asphalt sidewalks are not appropriate and shall not be used.

17. Parking Lot Screening

- a Screening at the periphery of all parking lots shall be provided with a minimum 5' wide landscape area.
- b A 36" high berm, headlight hedge, or masonry wall shall be provided to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- c When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation, and the walls shall be low enough for safety and security purposes.
- d Walls shall be finished and designed to complement surrounding buildings.

18. Parking Lot Area Planting

- a Landscaping within parking lots shall be given special consideration. These areas are typically located out of the public right-of-way and shall contain different planting materials than a neighboring street. To this end, these guidelines shall provide a parking lot designer with the direction needed to create a functional and attractive parking environment. Refer to City Zoning Section 9-2-109 for specific requirements.
- b Appropriate lighting and landscaping shall be provided, including shade trees and lampposts (refer to lighting section of these Guidelines).
- c Where more than five (5) automobile parking spaces exist on a lot or parcel of land, areas not used for vehicle parking or maneuvering, or for the movement of pedestrians to and from vehicles shall be used for landscaping. The required trees shall be distributed throughout the parking lot so as to maximize the aesthetic effect and compatibility with adjoining uses.
- d All landscaped areas shall be bordered by a concrete curb a minimum of six (6) inches high adjacent to the parking surface.
- e Landscaping shall be provided at the rear of buildings that interface with parking areas.



LANDSCAPED WALKWAYS GIVE PEDESTRIANS A SAFE ROUTE TO THE BUILDING ENTRANCE

- f A landscaping buffer shall be provided between parking areas and public rights-of-way. The landscaped buffer area shall not be included when calculating the minimum percent landscaping required within the parking lot interior (see City Zoning 9-2-109).

19. Outdoor Spaces

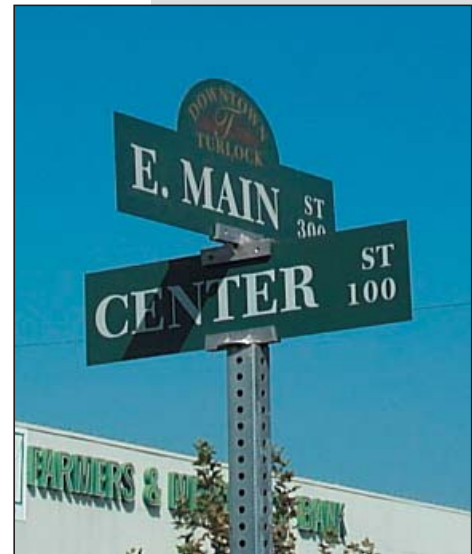
- a Recognize the importance of spaces between structures as “outdoor rooms” on the site. Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures. Such spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- b Areas where the building is set back from the street frontage shall be designed as a plaza or courtyard.
- c Plazas and open spaces shall be designed to be welcoming and inviting to people at all hours of the day and night.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground to ensure comfort and utility of the space.



OUTDOOR DINING AREAS BRING LIFE AND ACTIVITY TO THE STREET.

20. Sidewalk Cafes

- a Sidewalk café areas shall be screens with semi-permanent decorative screens or walls. Screens can be made of wood, plastic or metal, and shall attach to the sidewalk with recessed anchors – allowing for seasonal removal, leaving no tripping hazard in its absence.
- b Screens shall not be more than 42” tall.
- c Screens can either be solid or semi-solid. Designs shall be consistent with building façade design and/or restaurant theme.
- d Screen layout needs to enclose the entire outdoor café area, leaving required exit width accommodations for occupancy of facility.
- e Take-out establishments, where food is purchased inside the building, may have unscreened outdoor dining areas, provided that 48” of clear space is maintained at all times.
- f Tables and chairs can be of varying type, but those designed for exterior use are recommended. Tabletop sunshades, pole shades and sunscreens are recommended.
- g Layout of outdoor cafes shall allow for minimum 48” clear sidewalk right of way. Street signage, furniture, and landscaping shall not encroach in this 60” clear space.
- h Location of café is recommended to be located along building façade,



THIS STYLE OF SIGN SHALL BE USED THROUGHOUT THE DOWNTOWN



WELL ARTICULATED FACADES, AWNING TREATMENTS, AND USE OF MATERIALS SHALL BE USED BY CORPORATE TENANTS IN ORDER TO FIT THE SCALE AND CHARACTER OF THE DOWNTOWN.



however, the 48” clear space can be designed between the sidewalk café and the building façade.

- i Interior table layout of sidewalk cafes shall conform with all applicable building codes in regards to spacing, aisle width, occupancy, ADA and California Title 24 and exiting.
- j Accent lighting is highly recommended
- k Landscaping such as flower boxes are recommended to be incorporated into the design.

21. Streetscapes

- a Lighting fixtures shall be consistent with the style currently used in the Downtown Core.
- b Lighting fixtures along major thoroughfares shall have the dual luminaries while all other areas shall have only one luminaire in order to distinguish the significance of roadways
- c Light fixtures shall be adorned with banners or flags along Golden State Blvd. and Landers Ave. to announce the entrance into the Downtown Core. Welcome banners or flags announcing public events are appropriate.
- d Use of pavers shall be consistent with the ones used in the Downtown Core and shall only be used on sidewalk corners, as accent trim, and/or crosswalks.
- e Sidewalks shall be a minimum twelve feet (12’) wide in order to accommodate pedestrians,

street trees, and street furnishings.

- f Street furnishings (benches, bike racks, trash cans, and planting containers) shall remain consistent with the existing furnishings in the Downtown Core.
- g Tree species and grates shall remain consistent with those used in the Downtown Core.
- h Street signs shall be consistent with those used in the Downtown Core.
- i Traffic signal poles shall be painted a dark green to match the existing street lights until they can be replaced with a matching dark green decorative pole. Gateway intersections shall be first priority.

22. Corporate Architecture

- a The use of corporate “chain” architecture detracts from the unique character of the community and is strongly discouraged. Corporate tenants shall design their buildings to fit the scale and character of the

- community that it is proposed within. Corporate signage shall not dominate the building facade.
- b Buildings shall be oriented onto the street and include pedestrian friendly features such as awnings, display windows, and landscaping.
 - c Roof forms help to establish the architectural style of the building. Corporate roof forms shall respect the historic and rural character of Turlock by using well articulated parapets and roof lines.
 - d The building color and materials shall complement adjacent structures.
 - e Attached signage is encouraged. Detached or freestanding signs shall be considered if contained within a monument sign, consistent with building design and shall be externally lighted.
 - f Gas station canopies shall be consistent with the design of the overall and building architecture. Similar or the same materials shall be used on the canopy as the buildings. The roof structure shall be designed to be architecturally compatible.
 - g Columns supporting a structure shall be of sufficient thickness to emphasize a sense of strength, balance, and traditional proportions. The columns shall also include a cap and a base. The base shall be the darkest exterior material and shall be furred out three to four inches to enhance and anchor the structure.
 - h Service bays shall not be designed to face directly on to the street.

23. Golden State Blvd. Corridor

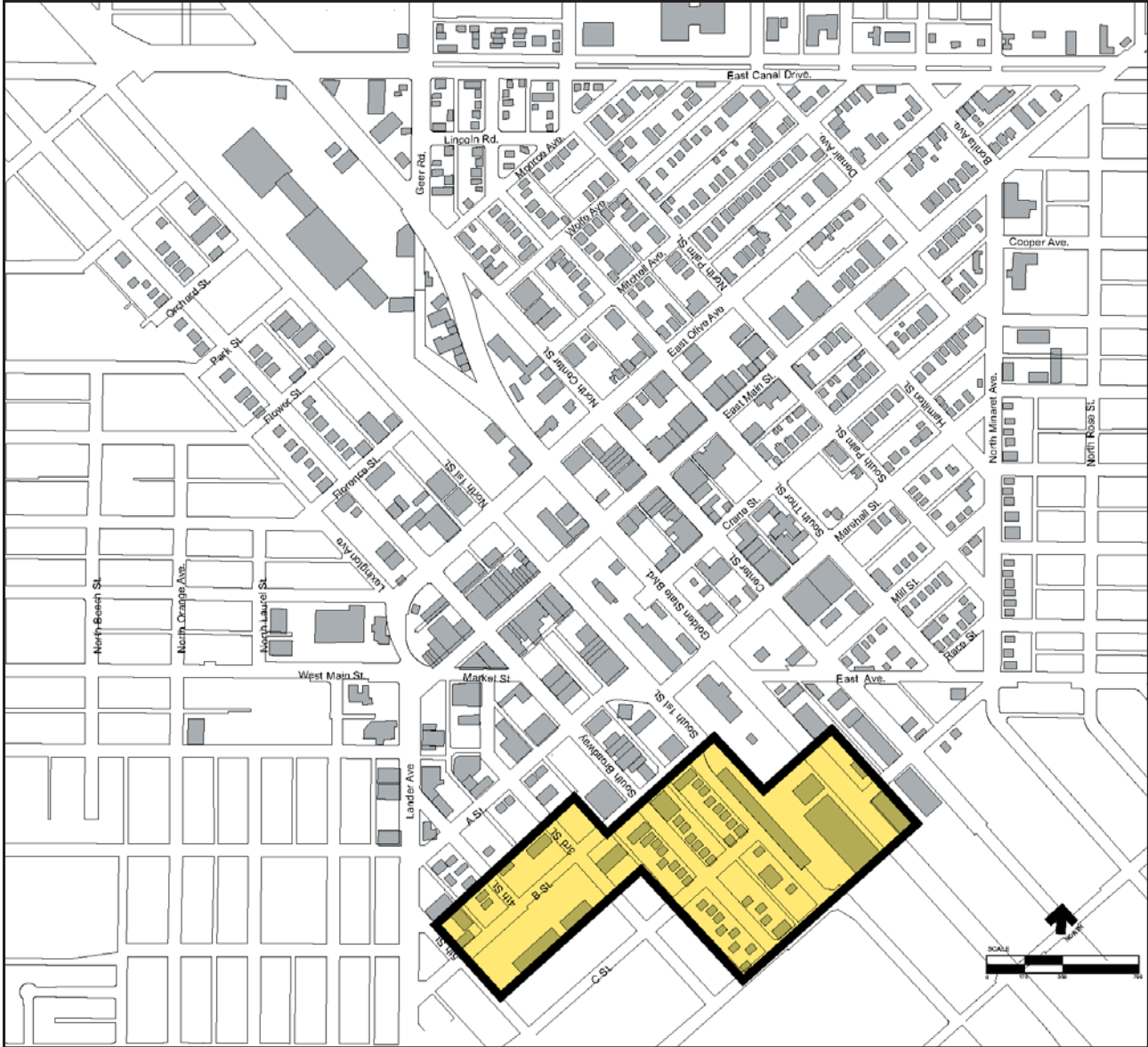
- a The Golden State Blvd. Corridor shall be considered a gateway to the downtown core, as it is the most heavily trafficked north/south arterial.
- b Buildings along this corridor shall respect and complement the existing architectural style.
- c Structures shall be oriented towards Golden State Blvd.
- d Gateway signage and monuments shall be used along this corridor
- e The Blvd. shall be enhanced with landscaping, streetlights, benches, paving, and trash receptacles that are consistent with the existing improvements in the Downtown Core where appropriate.
- f Street tree planting at regular intervals along Golden State Blvd. will strengthen the street edge and frame the space giving the corridor a more attractive appearance.
- g Reuse of existing materials is encouraged where possible and appropriate. When renovating existing structures, materials and forms reminiscent of existing buildings shall be used.
- h Auxiliary structures such as trash and utility enclosures, and storage areas shall be integrated into the overall design of the building and shall not face or open onto the street
- i Loading access facilities for commercial uses along the Blvd., shall not be located at the front of buildings where it is difficult to adequately screen them from view.

- j Service areas shall be screened from view with portions of the buildings, architectural wing walls and/or landscape planting.
- k Loading and delivery area access shall be clearly marked with directional signage.
- l Loading areas shall be designed to accommodate trucks without having to back onto Golden State Blvd.
- m Renovation, remodeling, or reconstruction of the existing commercial structures shall incorporate architectural and or landscape architectural elements into the building design that will make a strong statement of entry into Downtown Turlock (towers, arches, plaza, flags, banners, etc.).

24. Structures Adjacent to the Railroad Corridor

- a Buildings not dependent on the railroad loading access for freight or transportation purposes shall be set back a minimum of 20' from the railroad right-of-way in order to address visual and safety issues.
- b A minimum 5' landscape buffer shall be provided along the property line adjacent to the railroad right-of-way.
- c Trees, shrubs, and groundcover with decorative fencing shall be provided in the landscape buffer.
- d An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge. Where storage areas abut the railroad right-of-way, dense landscaping and or decorative wall treatment shall be provided to adequately screen the area.
- e When walls are used to screen the railroad corridor, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- f Building facades fronting on the railroad corridor shall include architectural details, articulation, varied roofline, painted details, or murals to create an attractive appearance from surrounding areas.

3-3 INDUSTRIAL/RESIDENTIAL



INDUSTRIAL/RESIDENTIAL DESIGN GUIDELINES

 District 3 - Industrial/Residential

3 – Industrial/Residential District

The Industrial/Residential area lies in the southwest sector of the downtown. This is a unique opportunity area to capitalize on the industrial character of the existing agricultural related buildings. Many vacant and underutilized sites and buildings currently occupy this district, however re-use of existing buildings, multi-family infill buildings, mixed use buildings, and enhanced streetscapes will help to liven up the area. There is also an opportunity to create a gateway statement to the downtown core by providing gateway signage and improved landscaping along Golden State Blvd. The intent of these District Guidelines is to capitalize on the industrial agrarian building character of this area as an important part of Turlock's history. This area also includes the opportunity for high density residential as a stand alone use or as part of a mixed use development. The guidelines also address this possibility. Any addition, remodeling, relocation or construction requiring a building permit within this district shall adhere to these guidelines as applicable.

Note: whenever the term "industrial" is used, it shall be considered synonymous with "heavy commercial".

The following topics are addressed:

1. Industrial Adjacent to Residential
2. Golden State Blvd. Corridor
3. The Railroad Corridor
4. Industrial Buildings
5. Multi-Family Residential

1. Industrial Structures Adjacent to Residential Areas

In addition to the site planning, design, and architectural guidelines presented in this chapter, the following guidelines are intended to provide additional direction when placing an industrial use adjacent to a residential area.

- a New industrial/commercial uses shall maintain the agrarian architectural forms as necessary (i.e. colored metal siding and roof, wood siding, etc.).
- b New industrial structures shall reflect the architectural character of the area as industrial-agrarian style.
 - c Industrial structures shall be designed to have 360-degree architecture when visible from adjacent properties and residential areas. In other words, all four building elevations shall be architecturally articulated.
 - d Driveways to industrial buildings shall not share the same street as residential driveways whenever possible.
 - e Industrial uses in this area shall be limited to “clean” industry that does not involve handling of hazardous or noxious materials.
 - f Industrial lighting shall be directed so as not leak into residential areas.
 - g Parking lot lighting shall be placed on timers and shall be required to automatically turn off no later than 10:00 pm unless industrial operations continue around the clock.
- h Loading and unloading zones shall be placed away from residential areas and fully screened.
- i Loading and unloading zones shall be designed to allow trucks to quickly load and unload in order to prevent long truck idling times.
- j Views from industrial buildings and employee break areas shall not have access into residential windows and yards whenever possible.
- k Industrial buildings that are multiple stories shall not obstruct residential views.
- l New residential or industrial structure height shall “transition” from the height of adjacent structures to the maximum height of the proposed structure.
- m New residential or industrial buildings shall be no more than one story higher than their neighboring building.
- n Industrial buildings shall be given pedestrian friendly qualities such as awnings, street furnishings, landscaping, recessed entries, and window displays in order to continue to promote the emphasis on the pedestrian friendly environment for Downtown.
- o High quality, innovative and imaginative architecture is encouraged and will enhance compatibility and the transition to residential areas.



LANDSCAPE BUFFERS AND BUILDING ARTICULATION HELP TO EASE THE TRANSITION BETWEEN INDUSTRIAL AND RESIDENTIAL BUILDINGS.

The elements most desired for well-designed industrial buildings are:

- Variation of building forms and planes
- Enhanced building entries
- Screened loading facilities and storage areas
- Landscaping

p Elements that are discouraged are as follows:

- Blank walls
- Unscreened loading facilities
- Structures that are box like and contain no architectural elements

2. Golden State Blvd. Corridor

The Golden State Blvd. Corridor is considered an important gateway into the downtown core and the City in general, as it is the most heavily trafficked north/south arterial. The following guidelines address the importance of this corridor with the intent to ensure a visual character that is both attractive and responsive to Turlock's agrarian roots.

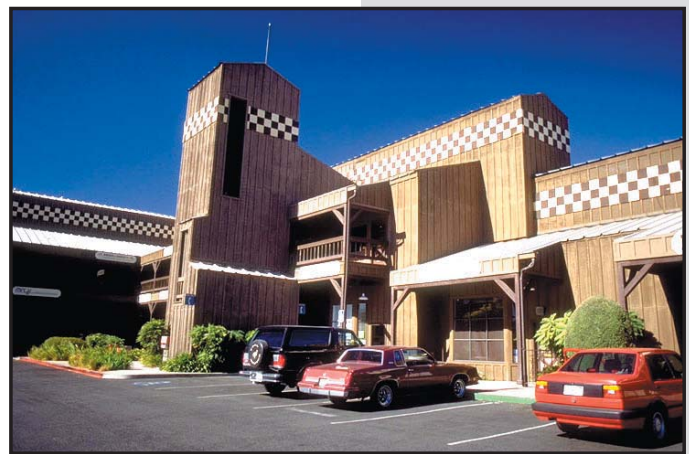
- a Buildings along this segment of the Golden State Blvd. corridor shall respect and complement the existing agrarian/industrial architectural style.
- b Structures shall be oriented towards Golden State Blvd.
- c Gateway signage and monuments shall be used along this corridor.
- d The Blvd. shall be enhanced with landscaping, streetlights, benches, paving, and trash receptacles that are consistent with the existing improvements in the Downtown Core where appropriate.
- e Use historic pole standard with double luminaries along Golden State and historic poles with single luminaries elsewhere.
- f Reuse of existing materials is encouraged where possible and appropriate. When renovating existing structures, materials and forms reminiscent of existing buildings shall be used.
- g Auxiliary structures such as trash and utility enclosures, and storage areas shall be integrated into the overall design of the building and shall not face or open onto the street.



LARGE WINDOW DISPLAYS GIVE THIS BUILDING A PEDESTRIAN ORIENTED FEELING.



INDUSTRIAL/AGRARIAN STYLE BUILDINGS SHALL BE USED ALONG THE GOLDEN STATE BLVD. CORRIDOR.



BUILDING FORM AND MASSING HELP TO MAKE INDUSTRIAL/AGRARIAN BUILDINGS VISUALLY ATTRACTIVE.



BUILDING FACADES FRONTING ON THE RAILROAD CORRIDOR SHALL INCLUDE ARCHITECTURAL DETAILS, ARTICULATION, AND VARIED ROOFLINES.



FENCING THAT COMPLIMENTS THE ARCHITECTURAL STYLE OF ADJACENT BUILDINGS IS ENCOURAGED ALONG THE RAILROAD CORRIDOR.



PUBLIC ART THAT REFLECTS TURLOCK'S HISTORY WILL ENHANCE THE AESTHETIC QUALITY OF THE RAILROAD CORRIDOR.

- h Loading access facilities for industrial uses along the Blvd., shall not be located at the front of buildings where it is difficult to adequately screen them from view.
- i Service areas shall be screened from view with portions of the buildings, architectural wing walls and/or landscape planting.
- j Loading and delivery area access shall be clearly marked with directional signage.
- k Loading areas shall be designed to accommodate trucks without having to back onto Golden State Blvd.
- l Renovation, remodeling, or reconstruction of the existing industrial and commercial structures shall incorporate architectural and or landscape architectural elements into the building design that will make a strong statement of entry into Turlock (towers, arches, plaza, flags, banners, etc.).

3. Structures Adjacent to the Railroad Corridor

- ◆ Buildings not dependent on the railroad loading access for freight or transportation purposes shall be set back a minimum of 20' from the railroad right-of-way in order to address visual and safety issues.
- ◆ A minimum 5' landscape buffer shall be provided along the property line adjacent to the railroad right-of-way.
- ◆ Trees, shrubs, and groundcover with decorative fencing shall be provided in the landscape buffer.
- ◆ An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge where storage areas abut the railroad right-of-way. Dense landscaping and or decorative wall treatment shall be provided to adequately screen the area.
- ◆ When walls are used to screen the railroad corridor, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- ◆ Building facades fronting on the railroad corridor shall include architectural details, articulation, varied roofline, painted details, or murals to create an attractive appearance from surrounding areas.

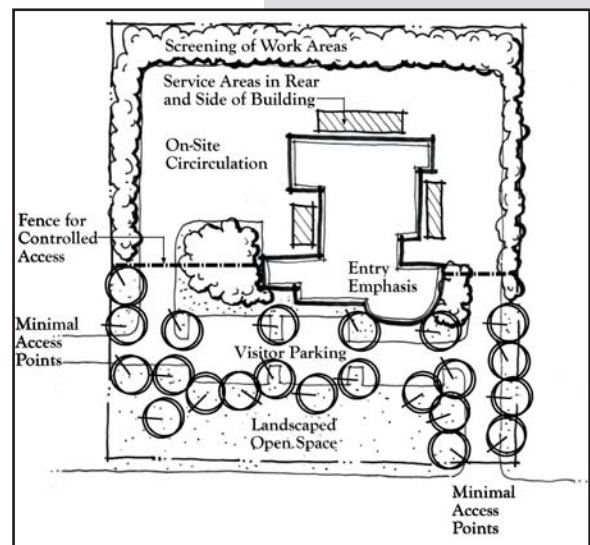
4. Industrial

A. Site Design

- ◆ Quality industrial site design shall include the following attributes:
 - Service areas located at the sides and rear of buildings
 - Controlled site access
 - Convenient access, visitor parking and on-site circulation
 - Screening of outdoor storage, work areas, and equipment
 - Emphasis on the main building entry and landscaping
 - Landscaped open space
- ◆ Each building is encouraged to have its own identity, yet any site circulation shall be integrated with adjacent properties to provide functional and aesthetically designed vehicular and pedestrian circulation.
- ◆ A variety of building and parking setbacks shall be provided to create diversity and avoid long monotonous building facades,
- ◆ Blank walls or loading areas shall not face public streets.
- ◆ Building setbacks shall be provided proportionally to the scale of the structure and in consideration of existing buildings adjacent to it. Larger structures require more setback area for a balance of scale and so as not to impose on neighboring uses.
- ◆ Thoughtful structure placement which creates opportunities for plazas, courts or gardens, is encouraged.
- ◆ Where industrial uses are adjacent to non-industrial uses, appropriate buffering techniques, such as setbacks, screening and landscaping shall be provided to mitigate any negative effects of industrial operations.
- ◆ Recycled content materials such as wood substitutes and recycled concrete and asphalt shall be considered when selecting site materials.
- ◆ Auxiliary structures such as trash enclosures, utility enclosures and storage areas shall be integrated into the overall design of the building.
- ◆ On larger sites, focal points shall be developed to create a definite sense of identification. Plazas, landscape, fountains, artwork, textured pavement, universally accessible



HIGH QUALITY BUILDING DESIGN AND MATERIALS MAKE THIS AN ATTRACTIVE INDUSTRIAL BUILDING.



LANDSCAPE BUFFERS AND SCREENED SERVICE AREAS HELP TO MAKE A WELL DESIGNED SITE.



THIS LANDSCAPE BUFFER HELPS TO SCREEN THE PARKING AND LOADING AREAS OF THIS BUILDING.



VARIATION IN WALL PLANES AND ROOF FORMS GIVE THIS BUILDING AN ATTRACTIVE FACADE.



RENOVATION/ RE-USE OF OLD BUILDINGS ARE ENCOURAGED TO INCORPORATE ELEMENTS SUCH AS LANDSCAPING AND WINDOWS.



THE REPETITION OF WINDOW BAYS AND UNIQUE ENTRY FEATURE MAKE THIS AN ATTRACTIVE BUILDING.

changes in pavement levels, and vertical building features may be combined to create focal points and identity.

- ◆ Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not simply “left over” areas between structures. Such spaces shall provide pedestrian amenities such as shade, benches, fountains, landscaping, public art, etc.
- ◆ Plazas, employee break/recreational areas, and open spaces shall be designed to be welcoming and shall incorporate shade trees that provide relief from the sun.
- ◆ New buildings /renovations/additions are encouraged to incorporate opportunities for public art.

B. Building Design

- ◆ High quality, innovative and imaginative architecture is encouraged. Developers shall use these guidelines as a tool to design quality structures as opposed to industrial projects. The elements most desired for well-designed industrial buildings are:
 - Variation of building forms and planes
 - Enhanced building entries
 - Screened loading facilities and storage areas
 - Landscaping
- ◆ Elements that are discouraged are as follows:
 - Blank walls
 - Unscreened loading facilities
 - Structures that are box like and contain no architectural elements

C. Mass

Mass is defined as a three-dimensional form such as a cube, box, cylinder, pyramid, and core. The way the forms are sized directly relates to the way building elements are emphasized or de-emphasized. Voids or open spaces in the forms can change their appearance and make the building more interesting and less imposing.

- ◆ Each building shall have a recognizable base, body, roof line, and entry.
- ◆ Materials shall vary between base and body of a building in order to break long wall planes.

- ◆ Surface detailing shall not serve as a substitute for distinctive massing.
- ◆ Massing design may include:
 - Variation in the wall plane (project and recess)
 - Variation in wall height
 - Roofs located at different levels
- ◆ Vary the planes of the exterior walls in depth and/or direction. Wall planes shall not run in one continuous direction horizontally for more than 50 feet without significant offset.
- ◆ Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- ◆ The height of the buildings shall be varied so that it appears to be divided into distinct massing elements.
- ◆ Berming in conjunction with landscaping can be used at the building edge to reduce structure mass and height along facades.

D. Rhythm

Rhythm describes the relationship of building components, as well as the relationship of individual buildings to one another.

- ◆ Rhythms shall be more complex than simply the repetition of one or more architectural details.
- ◆ Rhythm shall be expressed by changing materials or color.
- ◆ Rhythm shall be expressed by using elements such as columns and pilasters.

E. Building Form

- ◆ Buildings shall be designed with articulation on all sides.
- ◆ Facades with varied front setbacks are strongly encouraged. Wall planes shall not run in one continuous direction for more than 50 feet without significant offset.
- ◆ Murals, trellises, or vines and espaliers shall be placed on large expanses of walls at the rear or sides of the buildings to soften and create interest.



THE HEIGHT OF THIS BUILDING IS VARIED AND APPEARS TO BE DIVIDED INTO DISTINCT MASSING ELEMENTS.



VARIATION IN WALL PLANES HELP TO BREAK UP THE MASS OF THIS BUILDING.



VARIATION OF BUILDING FORMS AND PLANES EMPHASIZE THE ARCHITECTURAL CHARACTER OF THE BUILDING.



LANDSCAPING HELPS TO SOFTEN THE TRANSITION BETWEEN THE PARKING LOT AND BUILDING.



ROOFS THAT ARE WELL ARTICULATED GIVE CHARACTER TO THE BUILDING.



PARAPETS HELP TO GIVE FORM TO THIS BUILDING. IN ADDITION, THE STAIRWELL IS INTEGRATED NICELY AND PROVIDES RELIEF INTO THE BUILDING FACADE.

- ◆ Windows and doors shall be in scale with the building elevation on which they appear. Recessed openings, windows and doors provide depth and shall be used to help break up the apparent mass of a large wall.
- ◆ Entries to industrial structures shall portray a quality office appearance while being architecturally tied into the overall mass and building composition. They shall not appear as an “add-on” or afterthought.
- ◆ Vertical architectural elements such as towers shall be used as focal points.
- ◆ Stairwells shall be designed as an integral part of the building architecture.
- ◆ The staggering of planes along an exterior wall elevation creates pockets of light and shadow, providing relief from monotonous, uninterrupted expanses of wall.
 - ◆ Design elements which are undesirable and shall be avoided include:
 - Large blank, non-articulated wall surfaces.
 - Non-articulated building facades.
 - Materials with high maintenance such as stained wood, shingles, or metal siding.
 - Highly reflective surfaces.

F. Roof Forms

- ◆ A roof line at the top of the structure shall not run in a continuous plane for more than 50 feet without offsetting or joggling the roof plane.
- ◆ Any equipment, whether on the roof, side of structure, or ground, shall be screened. The method of screening shall be architecturally compatible with the main buildings on the site in terms of materials, color, shape and size.
- ◆ The roof design shall be considered as a component of the overall architectural design theme.
- ◆ Flat roofs shall be light in color to reduce solar heat gain.

G. Parapets

- ◆ Parapets shall be used when sufficiently detailed to screen roof mounted equipment and provide a contrast to gabled or pitched roofs.
- ◆ Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or

projecting cornices, lentils, caps, corner details, or variety in pitch (sculpted).

- ◆ Rooftop equipment on flat roofs shall be screened and not visible from ground level. Buildings with flat or low-pitched roofs shall incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building facade.
- ◆ Structural stability and the height of a parapet shall be coordinated with the placement of mechanical equipment so that equipment is not in a pedestrian's line of sight from street level.
- ◆ Parapets shall not appear "tacked on" and shall convey a sense of permanence. If the interior side of a parapet is visible from the pedestrian area of the site or adjacent property, it shall receive appropriate detail



WINDOW TYPE, MATERIAL, SHAPE, AND PROPORTION SHALL COMPLEMENT THE ARCHITECTURAL STYLE OF THE BUILDING.

H. Windows

- ◆ Windows and skylights shall be located to maximize daylighting and views.
- ◆ Awnings, landscaping, spectrally-selective glass, and shading devices to reduce solar heat gain shall be used where appropriate.
- ◆ Window type, material, shape, and proportion shall complement the architectural style of the building.



DETAILS SUCH AS CHANGES IN MATERIALS SHALL BE USED TO CREATE SHADOW PATTERNS AND DEPTH ON WALL SURFACES.

I. Entry Features

- ◆ Entry features shall be designed as a significant aspect of the building's overall composition.
- ◆ Entrances shall be easily identifiable and accessible.
- ◆ Elements such as overhangs, enhanced landscaping, vertical architectural features, and special building materials shall be used.

J. Building Materials and Texture

- ◆ Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, and recessed areas shall be used to create shadow patterns and depth on the wall surfaces.



THE USE OF MATERIALS AND COLORS USED HERE HELPS DEFINE A BASE, BODY AND CAP.



VARIATION IN COLORED BRICKS AND MATERIALS GIVE THIS INDUSTRIAL BUILDING A UNIQUE LOOK.



LIGHT FIXTURES SHALL BE DESIGNED OR SELECTED TO BE ARCHITECTURALLY COMPATIBLE WITH THE MAIN STRUCTURE OR THEME OF THE BUILDING.

- ◆ Materials and building cladding shall be varied to produce different texture, shade and shadow effects.
- ◆ Wall materials that will withstand abuse by vandals or accidental damage from machinery shall be selected.
- ◆ Incorporate non-toxic, recycled-content materials whenever possible.

K. Colors

The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building.

- ◆ Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors shall be used for trim, windows, doors, and key architectural elements.
- ◆ Compatible colors shall be combined on a single façade to add visual interest and break up plain walls.
- ◆ Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- ◆ Trim colors shall coordinate with wall colors. Features such as doors, window trim, awnings and wall tiles are appropriate for accent colors.
- ◆ Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone.

L. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to private on-site lighting in parking areas and lights associated with the building. Light types could

include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- ◆ Lighting shall be used to provide illumination for the security and safety of on-site areas such as parking, loading, shipping, receiving, pathways and working areas.
- ◆ All building entrances shall be well lighted.
- ◆ Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- ◆ The quality of light, level of light as measured in footcandles, and

the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the building site.

- ◆ Spot lighting or glare from any site lighting shall be shielded from adjacent properties and directed at a specific object or target area.
- ◆ Exposed bulbs shall not be used. Cut-off lighting is preferred.
- ◆ Uplighting of building elements shall use the lowest wattage possible to minimize impacts to the night sky. Light sources for wall washing and tree lighting shall be hidden.
- ◆ Low-voltage lighting conserves energy and shall be used in the landscape whenever possible.
- ◆ The height of a light pole shall be appropriate in scale for the building or complex and the surrounding area.
- ◆ Pedestrian light poles along sidewalks or pathways and parking lot light standards shall be a maximum 10' to 15' high.
- ◆ Landscape lighting can be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- ◆ Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- ◆ Over lighting or light leak into adjacent sites shall be avoided.

M. Signage

Building signage can either enhance the building façade or completely diminish the aesthetic appeal of a building. A sign program shall be submitted with design review application for new buildings. Regulations for sign dimensioning and area limitations are provided in section 9-2-506 of the Turlock Zoning Ordinance. Given this, every building shall be designed with a precise concept for adequate signing. Provisions for sign placement, sign scale in relationship with the building, and the readability of the sign shall be considered in developing the overall signing concept.



THIS MONUMENT SIGN REFLECTS THE INDUSTRIAL CHARACTER THROUGH FORM AND MATERIALS.



LANDSCAPING IMPROVES THE VISUAL QUALITY OF THIS MONUMENT SIGN.

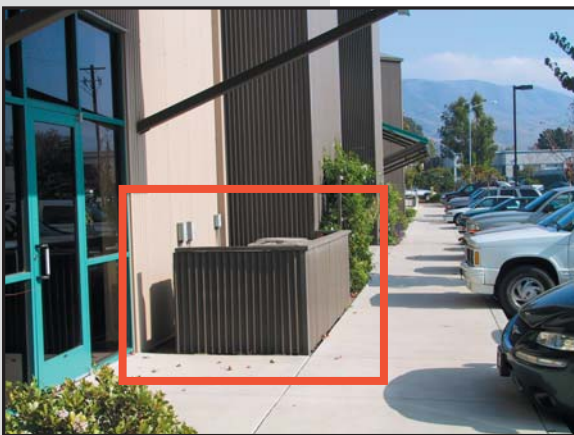


MONUMENT SIGNS THAT INCORPORATE SIMILAR MATERIALS AND COLORS AS THE CORRESPONDING BUILDING ARE ENCOURAGED.

- ◆ Signs shall coordinate with the building design, materials, color, size, and placement.
- ◆ Signs reflecting the type of business through design, shape, or graphic form are encouraged.
- ◆ The method of sign attachment to the building shall be integrated into the overall sign design chosen.
- ◆ Signs shall not cover up windows or important architectural features.
- ◆ Sign variety is encouraged among different users.
- ◆ Flush mounted signs shall be positioned within architectural features, such as the panel above the entry on the transom or flanking doorways.
- ◆ Flush mounted signs shall align with others on the block so as to maintain the existing pattern.
- ◆ Signs shall be externally illuminated or internal illumination shall be limited to letters only.
- ◆ Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8' from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- ◆ A single building with multiple users shall provide a unifying sign theme. Individual wall-mounted signs are appropriate in combination with a monument sign identifying the building and address.
- ◆ The industrial site shall be appropriately signed to give directions to loading and receiving, visitor parking, and other special areas.
- ◆ Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.
- ◆ To conserve energy timers or sensors shall be utilized for illuminated signs.

N. Utility and Mechanical Screening

- ◆ Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- ◆ Exterior storage shall be confined in portions of the site least visible to public view.
- ◆ Transformers shall be located underground where feasible.
- ◆ All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room within the building or in an architecturally appropriate utility enclosure.
- ◆ Utility lines from the service drop to the site shall be underground.
- ◆ Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.



THE BOX OUTLINES WHERE MECHANICAL EQUIPMENT HAS BEEN SCREENED USING MATCHING BUILDING MATERIALS.

- ◆ Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways and trails. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- ◆ Service, utility, and loading areas shall be carefully designed, located, and integrated into the site plan. They shall be located and designed for easy access by service vehicles for convenient access by each tenant and located to minimize circulation conflicts with other site uses. These critical functional elements shall not detract from the public viewshed area or create a nuisance for adjacent property owners.
- ◆ Where walls are used at property frontages, or screen walls are used to conceal storage and equipment areas, they shall be designed to blend with the site's architecture.
- ◆ Gutters and downspouts shall be concealed unless designed as a decorative architectural feature.

O. Trash & Recycling Enclosures

- ◆ The trash and recycle enclosure shall be consistent with the design of the and building architecture. Similar or the same materials shall be used on the enclosure as the buildings. Architecturally designed roof structures shall be used to create a finished looking structure.
- ◆ Every property shall provide a trash enclosure that is capable of handling the refuse/recyclables generated by that site.
- ◆ A pedestrian entrance to the trash enclosure shall be provided so that the large access gates do not have to be opened as often.
- ◆ Recycling bins shall be integrated into the enclosure.
- ◆ Trash enclosures shall be located away from residential uses to minimize nuisance to adjacent properties.
- ◆ Drainage from adjoining roof and pavement shall be diverted around the trash/recycling area.
- ◆ At least half of the trash/recycling area shall be dedicated to recycling containers.

P. Pedestrian Access

- ◆ Parking areas shall be designed so that cars and pedestrians are separated. The need for pedestrians to cross parking aisles



LOADING AREAS HAVE BEEN SCREENED WITH LANDSCAPING AND AN ATTRACTIVE FENCE.



TRASH ENCLOSURES CAN BE SCREENED IN A VARIETY OF WAYS. THIS ENCLOSURE IS SCREENED WITH A FENCE, WALL, AND LANDSCAPING COMBINATION.



A PATH CONNECTING TWO INDUSTRIAL BUILDINGS ENCOURAGES PEDESTRIAN ACTIVITY.



LOADING FACILITIES LINED WITH A LANDSCAPING BUFFER HELPS TO REDUCE NEGATIVE VISUAL IMPACTS.



VARIED WALL PLANES, COLORS, LANDSCAPED POCKETS, AND PARKWAY GIVE THIS WALL A PLEASING LOOK.



LANDSCAPED ISLANDS SHALL BE USED TO BEAUTIFY PARKING LOTS.

shall be minimized. Landscape island walkways shall be used to connect parking and building entries.

- ◆ Access between transit/bus stops to building entrances shall be clearly defined.
- ◆ The on-site pedestrian circulation system shall be directly connected to off-site public sidewalks.
- ◆ Asphalt sidewalks are not appropriate and shall not be used.

Q. Loading Facilities

- ◆ To alleviate the unsightly appearance of loading facilities for industrial uses, these areas shall not be located at the front of buildings where it is difficult to adequately screen them from view.
- ◆ Service areas shall be screened with portions of the buildings, architectural wing walls and landscape planting.
- ◆ Loading and delivery areas shall be clearly marked with directional signage where multiple access points are provided.
- ◆ Loading areas shall be designed to accommodate trucks without having to back onto or otherwise use the adjoining street.

R. Walls and Fences

- ◆ Walls shall be constructed as low as possible while performing their screening and security functions.
- ◆ An open fence design (black decorative iron or black chain link fencing) shall be provided along the railroad corridor edge. Where storage areas abut the railroad right-of-way, dense landscaping and or decorative wall treatment shall be provided to adequately screen the area.
- ◆ A combination of solid pillars or short solid wall segments and wrought iron grillwork shall be used where security fencing is required.
- ◆ Barbed wire fences are not allowed in this area and shall be replaced with an alternative deterrent.

S. Parking and Circulation

- ◆ On-site circulation shall be designed to provide safe and efficient access for delivery vehicles, visitors, employees, and pedestrians.
- ◆ The parking lot and cars shall not be the dominant visual elements of the site.
- ◆ Vehicles shall not be required to enter the street in order to move from one area to another on the same site.

- ◆ Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- ◆ The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind front pad buildings and away from the street when possible.
- ◆ Parking lots on corner sites shall not be placed adjacent to the street edge.
- ◆ Locate structures and on-site circulation systems to minimize pedestrian/ vehicle conflicts where possible.
- ◆ Parking lots shall provide areas for bicycle and motorcycle parking.
- ◆ Adequate areas for maneuvering, stacking, truck staging, loading and emergency vehicle access shall be provided.
- ◆ Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.

T. Parking Lot Screening

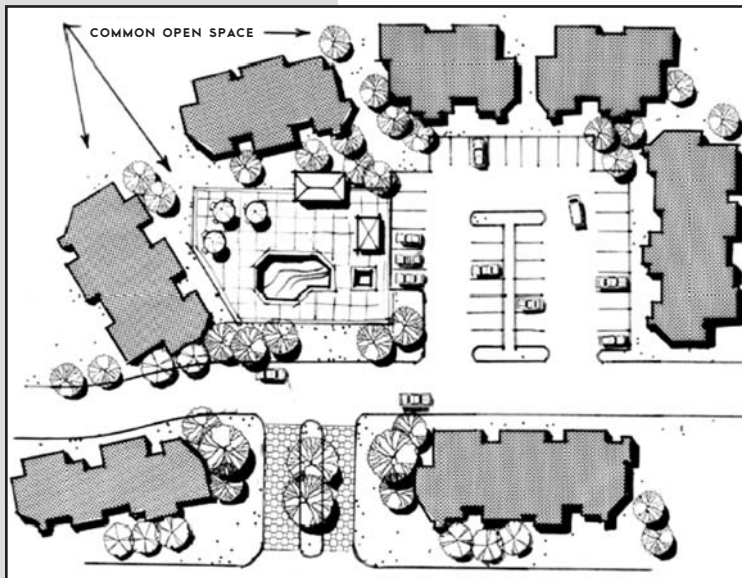
- ◆ Parking lots adjacent to and visible from public streets shall be adequately screened from view through the use of rolling earth berms, low screen walls, changes in elevation, landscaping or combinations thereof, whenever possible.
- ◆ Utilize a 36" high berm, landscaping, or masonry wall to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- ◆ When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation and visual access for safety and security purposes.
- ◆ Walls shall be finished and designed to complement surrounding buildings.
- ◆ Both sides of all perimeter walls or fences shall be architecturally treated.
- ◆ Landscaping shall be used in combination with such walls whenever possible.
- ◆ Long expanses of fence or wall surfaces shall be offset and architecturally designed to prevent monotony. Landscape pockets shall be provided.



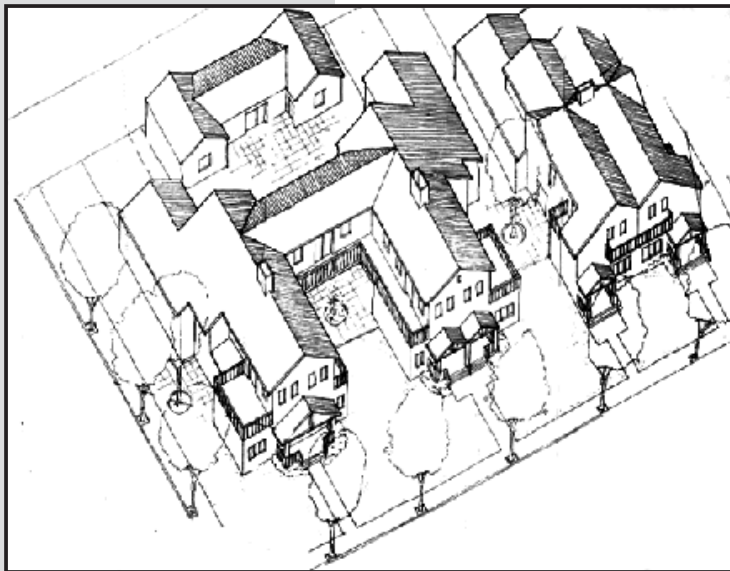
LANDSCAPED BERMS HELP TO SCREEN PARKING AREAS.



LANDSCAPED BERMS HELP TO SCREEN PARKING AREAS.



MULTI-FAMILY STRUCTURES SHALL BE ORIENTED TOWARD THE STREET. CLUSTERED DWELLING UNITS HELP PREVENT "BARRACK-LIKE" OR CONTINUOUS ROWS OF STRUCTURES.



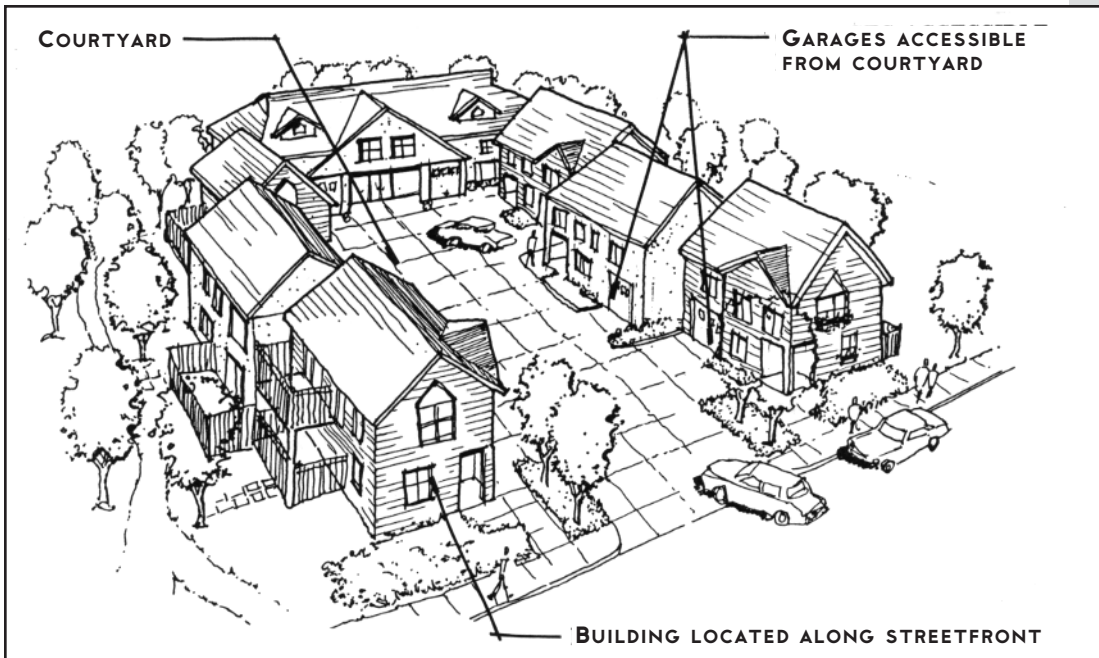
WHERE POSSIBLE, COURTYARDS OR OTHER METHODS TO BREAK UP THE BUILDING MASS SHALL BE UTILIZED. ALSO, A COMBINATION OF ONE AND TWO STORY BUILDINGS ARE ENCOURAGED.

5. Multi-family Residential

These guidelines apply to multi-family residential buildings and sites. Existing single family residences are likely to be a temporary use in this area and are exempt.

A. Site Design

- ◆ The primary focus shall be on constructing a high quality residential environment.
- ◆ Multi-family residential structures shall be architecturally compatible with surrounding structures.
- ◆ Residential buildings shall not be surrounded by high walls, parking lots and have rows of carports/ garages along public streets.
- ◆ Dwellings shall incorporate porches, trellises, landscaping and other features in the front yard to help extend the living area toward the street and help soften the transition between the street and the dwelling.
- ◆ Incompatible uses (industrial, auto repair, etc.) shall be buffered from residential structures. Intensified landscaping, increased setbacks and building orientation shall be utilized as a means of providing adequate separation between such land uses.
- ◆ Pedestrian walkways and alleys shall be provided to connect dwelling units with common open space areas, recreation areas, parking areas, and the street.
- ◆ Whenever possible, new structures shall be clustered. This creates plazas or pedestrian malls and prevents long "barrack-like" or continuous rows of structures.
- ◆ Buildings shall be placed close to, and oriented toward, the street.
- ◆ Natural amenities such as views, mature trees, and similar features unique to the site shall be preserved.
- ◆ Large buildings shall be broken up into groups of structures of various heights.
- ◆ Where possible, courtyards or other methods to break up the building mass shall be utilized.



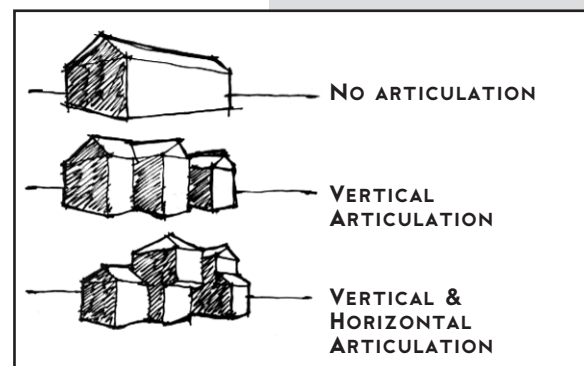
- ◆ Buildings shall be oriented on an east/ west axis to maximize the use of natural daylighting.
- ◆ Recycled content materials such as wood substitutes, recycled concrete, and asphalt shall be considered when selecting materials.

B. Building Design

- ◆ Architectural style shall be compatible with or complement the agrarian architectural forms and the traditional historic Downtown architecture of Turlock.
- ◆ Long, unbroken facades and box-like forms shall be avoided. Elements such as balconies, porches, arcades, dormers, and cross gables shall be used to add visual interest.
- ◆ To the extent possible, each of the units shall be individually recognizable. The following methods could be used to break up building massing:
 - Vary front setbacks within same structure.
 - Stagger and jog unit planes.
 - Vary building orientations to avoid the monotony and long garage door corridors.
- ◆ Balconies, porches and patios within multi-family structures shall be incorporated where appropriate for both practical and aesthetic values.



VARIED BUILDING SETBACKS AND HEIGHTS HELP TO ENHANCE THE ARCHITECTURAL CHARACTER OF A BUILDING.



MASSING ILLUSTRATION

REDUCE BUILDING MASS AT EDGES
 VARIOUS ROOF PITCHES W/GABLES & DORMERS



DELINEATION OF INDIVIDUAL UNITS WITHIN BLDG.

ENTRY FEATURE



BUILDING MASS CAN BE BROKEN UP WITH VARIOUS ROOF FORMS AND THE ADDITION OF PORCHES.



VERTICAL ELEMENTS SUCH AS TOWERS SHALL BE USED TO ACCENT HORIZONTAL MASSING AND PROVIDE GENERAL INTEREST.

C. Scale

- ◆ Structures with greater height shall include additional setbacks and steps within the massing so as to transition heights from adjacent properties, and to avoid dominating the character of the neighborhood.

D. Mass

Mass is defined as a three-dimensional form such as a cube, box, cylinder, pyramid, and core. The way the forms are sized directly relates to the way building elements are emphasized or de-emphasized. Voids or open spaces in the forms can change their appearance and make the building more interesting and less imposing.

- ◆ Buildings designs shall include a combination of the following techniques:
 - Variation in the wall plane (project and recess)
 - Variation in wall height
 - Roofs located at different levels
- ◆ Each building shall have a recognizable base, body, roof line, and entry.
- ◆ Several smaller compact building footprints rather than one large building shall be used to provide an intimate scale and a more efficient envelope for optimizing daylighting and passive solar heating/cooling functions.
- ◆ Surface detailing shall not serve as a substitute for distinctive massing.
- ◆ Exterior wall planes shall be varied in depth and/or

direction. Wall planes shall not run in one continuous direction for more than 50 feet without a significant offset.

- ◆ The height of the buildings shall be varied so that it appears to be divided into distinct massing elements.
- ◆ The upper stories of new multi-family buildings shall be stepped back to reduce the scale of facades that face the street, courtyards, or open space areas.
- ◆ Long access balconies and corridors shall be avoided.
- ◆ Combinations of one, one and one half, and two story units shall be used to create visual interest and variation in the massing and building height.
- ◆ Vertical elements such as towers shall be used to accent horizontal massing and provide visual interest.
- ◆ Architectural elements that add visual interest, scale and character to the neighborhood such as bays, bay windows, recessed or projecting balconies, porches, etc. shall be incorporated.
- ◆ Architectural articulation such as awnings, moldings, pilasters, etc. shall be integrated into the design where appropriate.

E. Roof Forms

- ◆ Roof lines shall be varied in height, and long horizontal roof lines shall be broken up.
- ◆ Roofs covering the entire building such as hips and gables are preferred over mansard roofs, and segmented pitched roofs shall be applied at the building edge.
- ◆ Roof materials and colors shall be consistent with the desired architecture. Light-colored roofs (“cool roofs”) shall be used because they reduce heat gain.
- ◆ Flat roofs shall be light in color to reduce solar heat gain.

F. Windows and Doors

- ◆ Windows shall be located to maximize daylighting and views.
- ◆ South facing windows shall be shaded with an overhang or awnings to reduce summer exposure.
- ◆ Skylights, roof monitors or light wells shall be used to add daylight to upper floors.
- ◆ Window type, material, shape, and proportion shall



THREE ATTACHED UNITS APPEAR TO BE ONE LARGE CUSTOM HOME



WINDOWS SHALL BE ARTICULATED WITH TRIM, SILLS, AND OTHER ELEMENTS THAT COMPLIMENT THE OVERALL ARCHITECTURAL STYLE OF THE BUILDING.



AWNINGS ADD COLOR, FORM, AND RELIEF TO THE BUILDING.



THESE GARAGES ARE ACCESSIBLE BY AN ALLEYWAY AND HAVE BEEN ENHANCED WITH LANDSCAPING.

complement the architectural style of the building entry.

- ◆ The addition of window articulation such as sills, trim, kickers, shutters, or awnings shall be included to improve the building facades.
- ◆ Window glazing shall be used to maximize energy conservation.

G. Awnings

- ◆ Permanent shading devices such as awnings and canopies on south-facing facades shall be incorporated to be aesthetically pleasing, while assisting in cooling the building during the summer months.
- ◆ Awnings shall be used to add color, form, and relief to the building.
- ◆ Awnings shall be incorporated to help to clearly show building entries and better orient pedestrians.
- ◆ Awning maintenance shall be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners shall not propose installing awnings unless they are prepared to replace the awnings.
- ◆ Awnings shall be made of cloth (not plastic or vinyl) and shall be high enough so as not to inhibit pedestrians.
- ◆ Awnings shall only be placed on top of doors, windows, and other openings and shall fit the shape of the window.
- ◆ Awnings shall not dominate the facade, but shall be in scale with the rest of the building.
- ◆ Awnings, if lighted, shall be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.

H. Dwelling Unit Access

- ◆ Access points to units shall be clustered in groups of four or less. Long, monotonous access balconies and corridors that provide access to five or more units shall be avoided.
- ◆ The entrances to individual units shall be visible from nearby parking areas where possible. Building entrances shall be emphasized through the use of lighting, landscaping, and architecture.

I. Exterior Stairs

- ◆ Simple, clean, bold projections of stairways shall be used to complement the architectural massing and form of multi-family structures.
- ◆ Stairways shall be constructed of smooth stucco, plaster, or wood, with accent trim of complementary colors. Thin-looking, open metal, prefabricated stairs are discouraged.



STAIRWELLS SHALL COMPLEMENT THE FORM AND CHARACTER OF THE STRUCTURE.

J. Garages and Accessory Structures

- ◆ Garages and parking areas shall be sited with the least amount of visual impact from the street.
- ◆ Detached garages and accessory structures shall be designed as an integral part of the architecture of the building. They shall be similar in materials, color and detail to the principal structures of a building designed with pitched or hip roofs if possible.
- ◆ Garages shall be subordinate to the main living area when viewed from the street. Where possible, the garage shall be recessed behind the dwelling unit, and not located between the main living area and the street.
- ◆ Mechanical equipment shall be screened from view.



SIMPLE, CLEAN, BOLD PROJECTIONS OF STAIRWAYS SHALL BE USED TO COMPLEMENT THE ARCHITECTURAL MASSING AND FORM OF MULTI-FAMILY STRUCTURES.

K. Materials

- ◆ The selection and placement of building materials shall provide visual interest at the pedestrian level.
- ◆ Heavier materials shall be used to form the building base and as accents on upper stories and walls. Architectural details shall be used to enhance the buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.
- ◆ Materials shall occur at a change in plane where they tend to appear substantial and integral to the structure, preferably at an inside corner.
- ◆ Material changes not occurring at a change in plane appear “tacked-on” and shall be avoided.
- ◆ The different parts of a building’s façade shall be articulated by the use of color,



THE USE OF STONE HELPS TO BREAK UP THE VERTICAL MASS OF THE BUILDING.

<p>CHANGE IN PLANE WITH CHANGE IN MATERIAL IS</p>	<p>MATERIAL OR COLOR CHANGE AT OUTSIDE CORNER IS</p>	<p>CHANGE IN MATERIALS ON SAME PLANE IS</p>
<p>RECOMMENDED</p>	<p>NOT RECOMMENDED</p>	<p>NOT RECOMMENDED</p>



COMPLEMENTARY COLORS WERE USED TO DISTINGUISH VARYING WALL PLANES.



VARIATION IN COLOR, PORCH, AND WINDOW TREATMENTS SHALL BE USED IN MULTI-FAMILY 'TRACT' STYLE HOUSING.



MAILBOX ENCLOSURES SHALL COORDINATE WITH THE ARCHITECTURAL STYLE OF THE BUILDING.

arrangement of façade elements, or a change in materials.

- ◆ Blank walls shall be avoided at ground floor levels. Windows, trellises, wall articulations, arcades, changes in materials, or other features shall be utilized.
- ◆ Materials selected for multi-family buildings shall be very durable and require low maintenance.
- ◆ Textured, colors, and materials shall be unifying elements in the buildings.
- ◆ Natural materials such as brick, stone, copper, etc. shall be left in their natural color.
- ◆ Recycled content and non-toxic materials shall be used wherever possible.

L. Colors

The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building.

- ◆ Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.
- ◆ Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright whites.
- ◆ Door and window trim, awnings, and wall tiles shall be added for color interest and texture to building bases. The color of trim shall be coordinated with the wall colors.
- ◆ Colors shall coordinate with natural/unpainted materials used on the facades such as rock, pressure treated wood, tile, brick, and stone (reused or recycled content when possible).

M. Disabled-Accessible Ramps and Railing

- ◆ Guardrails shall complement the architectural style of the building.
- ◆ Ramps shall be integrated into the site design creating functional or unique spaces.

N. Fire Apparatus

- ◆ The design of new and remodeled structures shall incorporate easy access to fire apparatuses.
- ◆ Access for fire apparatus shall be part of the planning and design process so as not to appear tacked-on.

O. Mailboxes

- ◆ Common box mailbox enclosures shall be designed similar in form, materials, and color to the surrounding buildings.
- ◆ Mailboxes shall be located in alcoves away from the streetscape.

P. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, while enhancing architectural building and landscape details. These guidelines apply to on-site lighting for private residential buildings in parking areas and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- ◆ Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- ◆ The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the building site.
- ◆ Spotlighting or glare from any site lighting shall be shielded from adjacent properties and directed at a specific object or target area.
- ◆ Exposed bulbs shall not be used. Cut-off lighting is preferred.
- ◆ Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Light sources for wall washing and tree lighting shall be hidden.
- ◆ Low-voltage lighting conserves energy and shall be used in the landscape whenever possible. Energy efficient lamps and ballasts shall be incorporated.
- ◆ The height of a light pole shall be appropriate in scale for the building or the complex and the surrounding area.
- ◆ Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- ◆ Walkways/alleys shall be lit to an average 1.5 to 2-foot candle intensity to ensure safe nighttime conditions.
- ◆ Recreational amenities and courtyards shall be well lit to enhance the pedestrian experience and create a safe environment.
- ◆ Overlighting or light leak into adjacent sites shall be avoided.

Q. Pedestrian Access

- ◆ Parking areas shall be designed so that cars and



COMMON MAILBOX ENCLOSURES SHALL BE DESIGNED SIMILAR IN FORM, MATERIALS, AND COLOR TO THE SURROUNDING BUILDINGS.



RESIDENTIAL LIGHTING POLES SHALL BE APPROPRIATELY SCALED.



COURTYARDS SHALL BE DESIGNED AS USABLE AREAS FOR ALL RESIDENTS.



OPEN SPACE SHALL FOCUS ON AREAS THAT ARE USABLE TO THE RESIDENTS AND NOT MERELY REMAINDER PARCELS WITH MARGINAL USEABILITY.



LARGE MULTI-FAMILY RESIDENTIAL COMPLEXES SHALL INCLUDE PLAY AREAS FOR CHILDREN.

pedestrians are separated. The need for pedestrians to cross parking aisles shall be minimized. Landscape island walkways shall be used to connect parking and building entries.

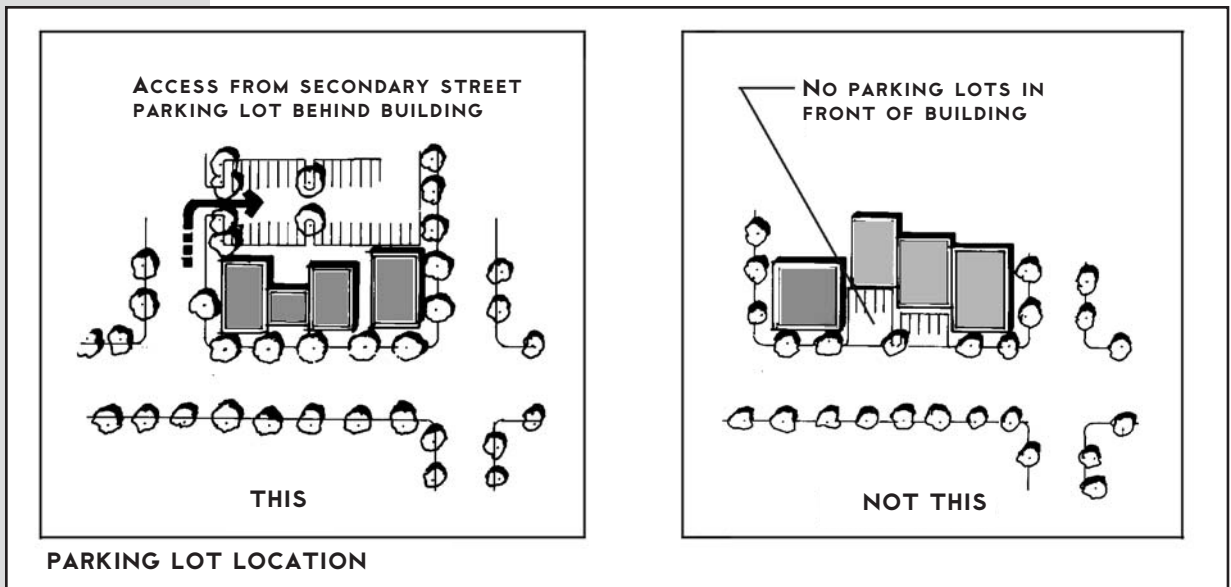
- ◆ Pedestrian linkages to nearby neighborhoods and other commercial buildings shall be provided.
- ◆ Provide easily identifiable pedestrian access from the street/sidewalk to key areas within the site.

R. Open Space

- ◆ Residents of housing projects shall have safe and efficient access to usable open space, whether public or private, for recreation and social activities.
- ◆ The design and orientation of these areas shall take advantage of available sunlight and shall be sheltered from the noise and traffic of adjacent streets or other incompatible uses.
- ◆ Open space shall focus on areas that are usable to the residents and not merely remainder parcels with marginal useability.
- ◆ Infrastructure elements such as storm water retention basins shall be incorporated into the overall open space plan.

S. Vehicular access, circulation, and parking

- ◆ Long rows of garages or parking spaces shall be avoided.
- ◆ Parking areas in multi-family residential buildings shall be visible for the units they serve and located behind the building, where possible.
- ◆ Parking lots shall be landscaped with shade trees.
- ◆ Principal vehicular access shall be through an entry



drive rather than a parking aisle.

- ◆ Parking areas shall be separated from a building with both a raised pedestrian sidewalk (minimum 4') and a landscape strip (minimum 5').
- ◆ Parking areas shall be treated as well defined spaces with landscaping, lighting, building massing, and pedestrian/vehicular circulation areas.
- ◆ Large projects shall break up parking areas into a series of connected smaller parking areas.
- ◆ Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- ◆ The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings, at the front of the property, and away from the street when possible.
- ◆ Parking lots on corner sites shall not be placed adjacent to the street edge.
- ◆ Light colored paving shall be incorporated near buildings to reduce the amount of heat radiating onto buildings and people.
- ◆ Locate structures and on-site circulation systems to minimize pedestrian/vehicle conflicts where possible.
- ◆ Parking lots shall provide areas for bicycle and motorcycle parking.



ENTRY DRIVES CAN BE ENHANCED WITH COLORED PAVING TREATMENT.



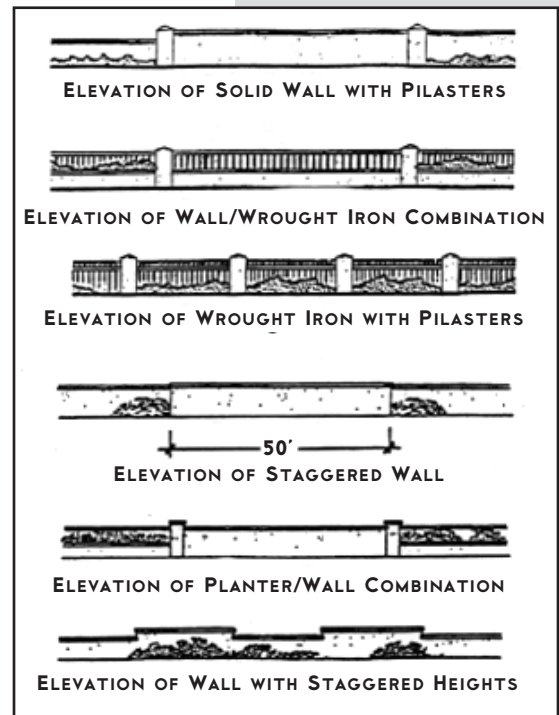
ENTRY DRIVES SHALL BE ENHANCED WITH PERMEABLE PAVING MATERIALS AND LANDSCAPING.

T. Entry Drives

- ◆ The principal vehicular access into a multi-family housing area shall be through an entry drive rather than a parking drive. Colored, textured, and permeable paving treatment at entry drives shall be used.
- ◆ Entry and edge features such as ornamental landscaping, open space areas, natural and water features, architectural monuments and enhanced paving shall all be considered when designing the entry.
- ◆ The number of site access points shall be minimized.

U. Parking Lot Screening

- ◆ Screening at the periphery of all parking lots shall be provided.
- ◆ Long expanses of fence or wall surfaces shall be offset and architecturally designed to prevent monotony.



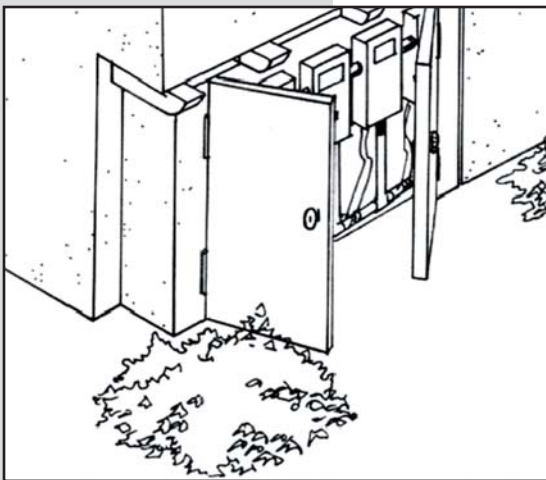
- ◆ Landscape pockets shall be provided.
- ◆ Walls shall be finished and designed to complement surrounding buildings.
- ◆ Both sides of all perimeter walls or fences shall be architecturally treated. Landscaping shall be used in combination with such walls whenever possible.
- ◆ A 36" inch high berm, headlight hedge, or masonry wall shall be used to screen any parking at the street periphery. A combination of walls, berms, and landscape material is highly recommended.
- ◆ Street trees shall be planted at 30' on center along street edge. Canopy trees are preferred.

V. Parking Lot Area Planting

- ◆ Parking lot trees with 30'- 40' canopy potential shall be planted to shade parked cars and create a more attractive environment.
- ◆ Plants with thorns, stickers, or sharp leaves shall be avoided.
- ◆ Parking lots shall include landscaping if:
 - More than five (5) automobile parking spaces exist on a lot or parcel of land
 - There are areas not used for vehicle parking or maneuvering
 - There are areas for the movement of pedestrians to and from vehicles
- ◆ All landscaped areas shall be bordered by a concrete curb a minimum of six (6) inches high adjacent to the parking surface.

W. Utility and Mechanical Equipment

- ◆ Utility service areas shall be considered in the early building design process to ensure appropriate and complementary placement and design.
- ◆ Utility service areas, such as electrical panels, shall be placed within enclosures that are architecturally integrated into the building design.
- ◆ Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- ◆ Where screen walls are used, they shall be designed to blend with the site's architecture.
- ◆ When transformers are required to be installed adjacent to the street, they shall be placed underground.
- ◆ Satellite dishes shall not be mounted on the roof or visible from the street.



UTILITY SERVICE AREAS, SUCH AS ELECTRICAL PANELS, SHALL BE PLACED WITHIN ENCLOSURES THAT ARE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN.

X. Trash Enclosures

- ◆ Trash enclosures and loading areas provided in the parking areas shall be screened with landscaping and wall materials.
- ◆ Trash enclosures shall be separated from adjacent parking stalls by minimum 3-foot wide planters with low-growing plant materials to ensure that adequate space is available for passengers to access a vehicle in an adjacent parking space.
- ◆ The trash and recycle enclosure shall be consistent with the style of the building architecture. This is best accomplished through the use of the same materials and colors. Architecturally designed roof structures shall be used to create a finished looking structure.
- ◆ Trash and recycle bins shall be conveniently accessible for trash collection and maintenance, and shall not block access drives during loading operations.
- ◆ Every property shall provide a trash enclosure that is capable of handling the refuse generated by that site.
- ◆ A pedestrian entrance to the trash enclosure shall be provided.
- ◆ Recycling bins shall be integrated into the enclosure and be easily accessible.
- ◆ Drainage from adjoining roof and pavement shall be diverted around the trash/recycling area.
- ◆ At least half of the trash/recycling area shall be dedicated to recycling containers.



THE TRASH ENCLOSURE SHALL BE CONSISTENT WITH THE STYLE OF THE BUILDING ARCHITECTURE. THIS IS BEST ACCOMPLISHED THROUGH THE USE OF THE SAME MATERIALS AND COLORS.



TRASH ENCLOSURES SHALL BE INCORPORATED INTO THE OVERALL DESIGN OF THE BUILDING.




A PEDESTRIAN ENTRANCE TO THE TRASH ENCLOSURE SHALL BE PROVIDED SO THAT THE LARGE ACCESS GATES DO NOT HAVE TO BE OPENED AS OFTEN.

3-4 OFFICE/RESIDENTIAL



OFFICE/RESIDENTIAL DESIGN GUIDELINES

 District 4 - Office/Residential

4. Office/Residential District

The intent of the office/residential district is to preserve the character of the existing residential neighborhoods while providing for the orderly and logical conversion or transition to compatible office uses as the market allows. The office/residential district area shall maintain its character as a traditional residential neighborhood through the preservation of historic residential structures and the establishment of guidelines for new construction remodels and renovation that will ensure a residential scale and character. The pedestrian friendly environment in this area is also a priority. Unifying the streets with street trees and continuous sidewalks will further enhance the pedestrian friendly environment. Streetscape elements consistent with the Downtown Core elements such as; street lights, trash receptacles, and benches placed in appropriate locations will visually unify and tie together this district to the Core.

The following topics are addressed in the guidelines:

1. Conversion of Residences to Office buildings*
2. New residential structures
3. New office structures

The following are guideline topics in this district:

4. Site Design
5. Building Mass and Scale
6. Building Form and Roofline
7. Building Entrances
8. Building Materials and Colors
9. Windows & Doors
10. Screening of Utilitarian Equipment and Trash Enclosures
11. Signage
12. Lighting
13. Outdoor Space
14. Parking and Circulation
15. Disabled-Accessible Ramps and Railing
16. Fire Apparatus
17. Roof Drainage
18. Mailboxes

*It is assumed that office uses will not convert to residential uses.

1. Conversion of Residences to Office buildings

- a Conversion of residential to office buildings shall occur in a contiguous fashion, not “leap frog” over other residences where possible in order to preserve residential neighborhoods.
- b Historic residential structures shall remain intact.
- c Upon conversion, the renovated office use shall improve the overall quality of the structure and site.
- d Spaces in office buildings shall be designed so that they can be leased to more than one tenant.
- e Office outdoor spaces shall be designed to respect the privacy of adjacent residential structures.

2. New Residential Structures

- a New residential structures shall be designed to respect the traditional architectural character and scale of the existing neighborhood.

3. New Office Structures

- a Office structures shall be designed to have 360 degrees (all elevations) of architectural façade treatment.
- b Spaces in office buildings shall be designed so that they can be leased to more than one tenant.
- c Office outdoor spaces shall be designed to respect the privacy of adjacent residential structures.
- d New office buildings shall be designed to respect the architectural character of the existing residential neighborhood.
- e It is not necessary that new office structures be built to look like a home as long as they maintain the traditional architectural character of the existing neighborhood.
- f New office structures shall include a combination of courtyard entrances, porches, parkways, rear parking, seasonal landscaping planters, and architectural embellishments.

4. Site Design

- a Infill or redevelopment projects shall give careful consideration to existing surrounding building and any unique architectural features.
- b Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points which are coordinated with other properties.
- c The interface between two or more properties shall be designed so that there are no barriers or other elements emphasizing property boundaries.
- d Buildings shall be designed to incorporate existing circulation, natural landscaping, sunlight, and shall not obstruct attractive views such as prominent landmarks, vistas, historical buildings, and the natural environment.



SIGNAGE SHALL BE IN SCALE AND ARCHITECTURALLY COMPATIBLE WITH THE BUILDING.

- e Special attention shall be given to building orientation and articulation on corner lots. Prominent architectural features such as building entries shall be located at and oriented towards the corners and intersections.
- f Buildings are encouraged to have a unique identity but shall integrate design elements from adjacent structures such as height, roof forms, window treatments, and architectural style.
- g Structures shall implement the use of natural daylight and cooling design techniques. The most effective design strategy is a narrow floor plan that provides the opportunity for increased daylight, better views to the exterior and more potential for natural ventilation.
- h Varied front setbacks are encouraged to help create visually interesting streetscapes.
- i Varied side yard setbacks help to create different sized yards and private patio areas. This maximizes the use of land and enhances dwelling privacy.
- j When adjacent to an existing two-story building, new single-story buildings shall have raised foundations (min 2') in order to appear in scale with the adjacent structures.

5. Building Mass and Scale

- a Each building shall have a recognizable base, body, roof line and entry.
- b A variety of front yard setbacks, lot widths and varying one and two story homes will help to create a diversity of architectural massing along the street.
- c Varying materials between base and body of a building can break long wall planes.
- d Massing design may include:
 - o Variation in the wall plane (project and recess)
 - o Variation in wall height
 - o Roof located at different levels
- e Vary the planes of the exterior walls in depth and/or direction.
- f Building scale can be reduced through proper use of window patterns, roof overhangs, siding, awnings, moldings, fixtures, landscaping, and other details.
- g The upper story of a two-story structure shall be stepped back in order to reduce the scale of the facades that face the street.
- h Architectural elements that add visual interest, scale, and character to the neighborhood such as bays, bay windows, recessed or projecting balconies, porches, etc. are encouraged.
- i Architectural treatments such as awnings, moldings, pilasters, etc. are encouraged.



THIS RESIDENTIAL/OFFICE BUILDING'S ENTRANCE IS ARTICULATED WITH A PROJECTING WALL PLANE.



VARIATION IN ROOF AND WALL PLANES HELP BREAK UP THE FRONT FACADE.



BY RAISING THE FOUNDATION, THIS BUILDING APPEARS TO BE IN SCALE WITH LARGER ADJACENT BUILDINGS.



A FRONT PORCH GIVES THIS OFFICE BUILDING A RESIDENTIAL FEELING.



THIS STAIRCASE HELPS TO DEFINE THE ENTRY TO THIS OFFICE BUILDING.



THIS ENTRY FEATURE CLEARLY EMPHASIZES THE ENTRANCE OF THE OFFICE BUILDING.

6. Building Form and Roofline

- a Multi-form roofs, gabled and shed roof combinations are encouraged to create an interesting and varying roof line that will decrease the mass of the building, and add visual articulation.
- b Roof materials and colors are important aspects of the overall building design. They shall be consistent with the desired architecture and complementary to adjacent structures.
- c Roofs covering the entire home such as hips and gables are preferred over mansard roofs and segmented pitched roofs applied at the building edge.
- d Parapets shall have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch.

7. Building Entrances

- a The building entryway shall be designed as a significant aspect of the buildings overall composition and shall be easily identifiable and accessible.
- b Recessed or projecting building entry ways shall be included in the design as they help to break up the building's mass and prevent a barrack-like façade.
- c The incorporation of balconies, porches, and patios at the entry help to give the structure a 'neighborhood' type feel. They are also encouraged for both practical and aesthetic value.

8. Building Materials and Colors

- a Where appropriate, "green materials" such as recycled plastic roofing tiles, certified lumber, and no-voc paint shall be used provided that they fit the historic character and style of Downtown Turlock.
- b The selection and placement of building materials shall provide visual interest at the pedestrian level.
- c Different parts of a building's façade shall be articulated by use of color, arrangement of façade elements, changes in materials, or other features.
- d Details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, or recessed areas to create shadow patterns and depth on the wall surfaces shall be used.
- e The darkest colors and materials of the buildings color palette shall be used at the base of the building in order to "ground" the building.
- f Large areas of intense light color shall be avoided. While more subdued colors usually work best for overall building color, bright or accent colors are typically appropriate for trim, windows, doors, and key architectural elements.

- g Flat muted colors shall be used to reduce sun glare on wall planes. Avoid using bright “hospital” whites.
- h Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim shall be coordinated with wall colors.
- i Colors shall coordinate with natural/unpainted materials used on the facades such as river rock, pressure treated wood, tile, brick, and stone.
- j Materials tend to appear substantial and integral when material changes occur at changes in the plane. Material or color changes at the outside corners of the structure gives an impression of thinness and artificiality, which shall be avoided. At a minimum, material shall wrap around the façade 4’.
- k Use of materials that building adjacent buildings and their surroundings is encouraged.

9. Windows & Doors

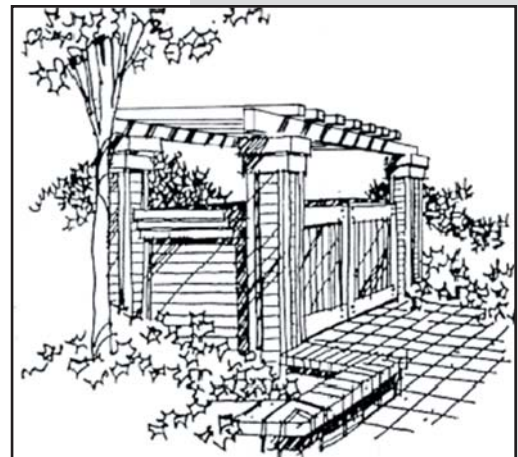
- a Locate windows to maximize daylight and views.
- b Use skylights, roof monitors, or light wells to add daylight to upper floors.
- c At the street level, windows shall have pedestrian scale and detail. The framing provides opportunity for color variation and detail.
- d Windows and doors shall be of the same architectural style.
- e Windows may be combined with wall planters at their base or use a base material that has color and texture such as ceramic tiles, brick, river rock, or raised wood panels.
- f Window type, material, shape, and proportion shall complement the architectural style of the building entry.
- g Windows and doors shall be designed as accent elements with details such as shutters, moldings, and lights.



AT THE STREET LEVEL, WINDOWS SHALL HAVE PEDESTRIAN SCALE AND DETAIL. THIS SHOP IMPROVES THE PEDESRIAN ATMOSPHERE BY INCORPORATING WINDOW DISPLAYS.

10. Screening of Utilitarian Equipment and Trash Enclosures

- a Utility service areas shall be part of the early building design process, rather than as an afterthought at the construction document phase.
- b All utility equipment including, but not limited to, electric and gas meters, electrical panels, cable boxes, and junction boxes shall be located in a utility room/closet within the building.
- c Where screening is required, a combination of elements shall be used including solid masonry walls, berms and landscaping.



A COMBINATION OF ELEMENTS SUCH AS LANDSCAPING AND TRELLIS SHALL BE USED TO SCREEN TRASH ENCLOSURES.



MONUMENT SIGNS THAT USE SIMILAR COLORS AND MATERIALS AS THE MAIN BUILDING, SUCH AS THIS, ARE APPROPRIATE FOR RESIDENTIAL/OFFICE CONVERSIONS.



SIGNS THAT REFLECT THE TYPE OF BUSINESS THROUGH DESIGN AND GRAPHIC FORM AND COMPLEMENT BUILDING ARCHITECTURE SHALL BE USED.



MONUMENT SIGNS THAT REFLECT THE TYPE OF BUSINESS THROUGH GRAPHIC FORM AND COMPLEMENTARY BUILDING MATERIALS IS ENCOURAGED.

- d Any outdoor equipment, whether on a roof, side of a structure, or on the ground shall be appropriately screened from view and shall not be placed adjacent to public ways. The method of screening shall be architecturally integrated with the adjacent structure in terms of materials, color, shape and size.
- e Where feasible, transmission power lines and other mechanical equipment shall be placed underground to maximize safety and minimize visual distraction.
- f New electrical, telephone, cable television, mechanical equipment and other distribution lines shall be placed underground.
- g All new on-site connections and utilities shall be installed underground
- h Trash/Recycling enclosures shall be designed to be consistent with the design of the building architecture. Similar or the same building materials shall be used on the enclosure as the buildings.
- i In addition to incorporating a similar architectural style, landscaping shall be incorporated into the design as an additional screen.
 - j Every non-residential property shall provide a trash enclosure that is capable of handling the refuse generated by that site.

11. Signage

Signs play an important role in the success of any business by providing identification and necessary advertising. When signs are integrated into the building design, they provide a personal quality that contributes to the ambiance of the Downtown and streetscape, especially unique signs. Conversely, signs may intrude upon pleasant surroundings when they are applied as an afterthought. Signage is particularly important in this district of office, commercial and residential uses. These guidelines are intended to balance the legitimate advertising needs of businesses with the need to prevent visual clutter and protect the traditional residential character of the district.

- a The sign regulations and guidelines are stated in section 9-2-500ART. of the City’s Zoning Ordinance and shall be adhered to at all times.
- b Signs shall coordinate with the building design, materials, color, size, and placement.
- c Signs reflecting the type of business through design, shape, or graphic form shall be used.
- d The method of sign attachment to the building shall be integrated into the overall sign design chosen.
- e Signs shall not cover up windows or important architectural features.
- f Sign variety is encouraged among different users.

- g Flush mounted signs shall be positioned within architectural features, such as the window/panel above the storefront or flanking the doorways.
- h Flush mounted signs shall align with others in the “center” so as to maintain the existing pattern.
- i Signs shall be externally illuminated or internal illumination shall be limited to letters only.
- j Hanging signs attached to buildings that project perpendicular to the building shall be a minimum of 8’ from ground level to the bottom of the sign. Signs that project shall be small and reflect the use of the business by incorporating symbols or logos of the business.
- k Lighting of all exterior signs shall be directional to illuminate the sign without producing glare on pedestrians, autos, or into adjacent residential units.

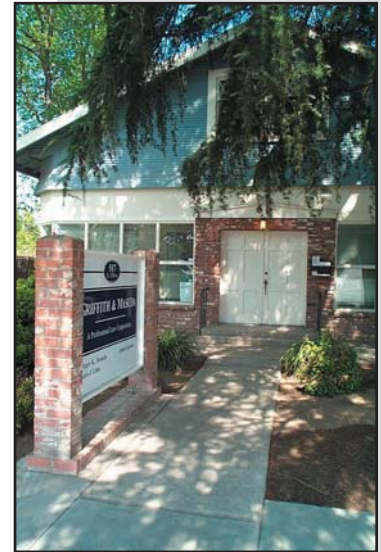
12. Lighting

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to on-site lighting for private structures in parking areas and lights associated with the building.

- a Lighting types shall include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.
- b Light fixtures shall be designed or selected to be architecturally compatible with the main structure or theme of the building.
- c The quality of light, level of light as measured in footcandles, and the type of bulb or source shall be carefully addressed. Lighting levels shall not be so intense as to draw attention to the glow or glare of the site.
- d Exposed bulbs shall not be used. Cut-off lighting is preferred.
- e Uplighting of building elements and trees shall use the lowest wattage possible to minimize impacts to the night sky. Additionally, light sources for wall washing and tree lighting shall be hidden.
- f Landscape lighting shall be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- g In order to conserve energy, timers and sensors shall be incorporated to avoid unnecessary lighting.

13. Outdoor Spaces

- a Outdoor spaces shall be recognized as “outdoor rooms” on the site.
- b Outdoor spaces shall have clear, recognizable shapes that reflect careful planning and are not “left over” areas between structures.
- c Outdoor spaces shall provide pedestrian amenities such as benches, shade, fountains, public art, etc.
- d Outdoor spaces shall take into consideration local climatic characteristics such as sunshine, cold, shade, and heat that radiates from the ground.



MONUMENT SIGN MATERIALS SHALL BE CONSISTENT WITH IT'S CORRESPONDING BUILDING .



THE ADDITION OF BENCHES AND TABLES MAKE OUTDOOR SPACES MORE USABLE.

14. Parking and Circulation

These guidelines are intended to ensure that parking lot designs are attractive and functional, while at the same time meet parking regulations.

- a Site plans shall balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide reciprocal access points which are coordinated with other properties.
- b The site area adjacent to the street shall not be dominated with parking. Parking shall be concentrated in areas behind buildings and away from the street when possible access via alleyways is encouraged.
- c Parking access points, whether located on front, side, or rear streets, shall be located as far as possible from street intersections so that adequate stacking room is provided.
- d Parking lots on corner sites shall not be placed adjacent to the street edge.
- e Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts where possible.
- f Screening at the periphery of all parking lots shall be provided.
- g A 36" to high berm, headlight hedge, or masonry wall shall be provided to screen any parking at the street periphery or adjacent residence. A combination of walls, berms, and landscape material is highly recommended.
- h When walls are used to screen parking, breaks shall be provided to allow pedestrian circulation, and the walls shall be low enough for safety and security purposes.
- i Walls shall be finished and designed to complement building surrounding structures.



PARKING LOTS SHALL BE LOCATED AT THE REAR OF THE BUILDING OR IN PARKING "COURTS".

15. Disabled-Accessible Ramps and Railing

- a Guardrails shall building the architectural style of the building.
- b Ramps shall be integrated into the site design creating functional or unique spaces.

16. Fire Apparatus

- a Consideration shall be given to the design of new and remodeled structures to incorporate easy access to fire apparatuses which shall be installed per the City and County Requirements.
- b Access for fire apparatus shall be part of the planning process so as not to disrupt the visual integrity of a structure.

17. Roof Drainage

- a Roof drainage shall be carried in gutters and down spouts into on-site dry-wells. All gutters and downspouts shall be designed to complement the architecture of the building.

18. Mailboxes

- a Common box mailbox enclosure shall be designed similar in form, materials, and color to the surrounding buildings.
- b Mailboxes shall be located in alcoves away from the streetscape.

19. Streetscapes

- a Lighting fixture style shall be consistent with the style currently used in the Downtown Core.
- b Lighting fixtures in this district shall be no taller than ten feet (10').
- c Lighting fixture shall have only one luminaire instead of two in order to distinguish the Office/Residential district from the Downtown Core.
- d Minimum five foot (5') concrete sidewalks shall be used in this district with parkway strips separating sidewalks from the street.
- e Street furnishings (benches, bike racks, trash cans, and planting containers) shall remain consistent with the existing furnishings in the Downtown Core.
- f Tree species and grates shall remain consistent with those used in the Downtown Core.
- g Street trees shall be planted where needed at 30' o.c. in parkway strips or in tree wells with grates if necessary.
- h A minimum five foot (5') parkway strip shall be installed with the development of new buildings if it is consistent with the existing environment.
- i Street signs shall be consistent with those used in the Downtown Core



STREET SIGNS SHALL BE CONSISTENT WITH THOSE USED IN THE DOWNTOWN CORE.

PART 4 - IMPLEMENTATION

The following section outlines a series of recommended steps to be taken in conjunction with, or following approval of, this Downtown Zoning Regulations and Design Guidelines document. Each of these implementation measures are intended to reinforce what the Downtown Regulation District Zoning and Design Guidelines set out to accomplish. Each of the implementation measures are listed by the Overlay District to which they apply.

District 1 Downtown Core

- Amend the City Zoning Ordinance, Section 9-3-302. Use Classifications Matrix allowing residential dwellings with a Conditional Use Permit (CUP) approval in the CC Zone. Add item 2-(a) under Additional Use Regulations. Item 2-(a) to read: “Multi-Family Residential is allowed in the CC Zone only when permitted by overlay regulations and shall be subject to the Overlay District regulations.”

District 1-A Downtown Core Transition

- Complete a Zone change and General Plan Amendment from Low-Density Residential to Public/Semi-Public at the North Minaret/East Main intersection. This is the only Low-Density Residential within this district.

District 2 Transitional Commercial

- Amend the Medium-Density (MD) Residential property in the westernmost area of District 2 to Community Commercial (CC).

District 3 Industrial/Residential District

- Complete General Plan amendment and Zone change in land use designation from Industrial (I) to High-Density Residential (RH) along the north side of B Street, north to the district boundary.
- Amend the General Plan and Zoning for the block along South Broadway currently designated Heavy Commercial (CH), High-Density Residential (RH) and Commercial (CC) to High-Density Residential (RH).
- Adopt the following policy for this District Overlay Zone:
Residential uses within the Industrial/Residential District Overlay Zone will only be permitted when the Base Zone and General Plan are amended to Residential High-Density. Conversion of land will only be permitted when property is contiguous to other High-Density Residential property within the District. By this policy, it is the intent of the City to encourage the provision of High-Density Residential for the purpose of meeting City-wide affordable housing demands.

District 4 Residential/Office Overlay District

- Rezone the property on the north side of East Olive from Denair Avenue to North Center Street and extending up to Wolf Avenue from Community Commercial (CC) to Commercial Office (CO).
- In addition, adopt the following policy:
Community Commercial (CC) designated property north and east of the Downtown Core and Golden State Boulevard shall be limited to properties contiguous to the Downtown Core.

City Standards

- The City Municipal Services Department shall establish a streetscape prototype with specific models, colors and style of street lighting and street furniture as an adopted City standard. This streetscape prototype shall complement as described in the Design Guidelines, the streetscape and signage utilized within the Downtown Core.
- Signal light standards shall be replaced over time with a consistent historic style at designated gateway intersection locations. As an interim measure to enhance the aesthetic character of these intersections, the existing light standards can be painted to match the green color of the historic lighting within the Downtown Core.
- The City shall consider adoption of an outdoor dining/sidewalk café ordinance for the Downtown Core and perhaps application throughout the City. The basic requirements for outdoor dining and sidewalk cafes are outlined in the Design Guidelines Section of this document.

Appendix A
Turlock Beautification
Master Plan
Chapter V - Gateway Zones